

AGENDA



PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
FEBRUARY 9, 2021 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

(I) CALL TO ORDER

(II) OPEN FORUM

(III) CONSENT AGENDA

(1) Approval of Minutes for the January 26, 2021 Planning and Zoning Commission meeting.

(2) **P2021-001 (DAVID GONZALES)**

Discuss and consider a request by Bill Thomas of Engineering Concepts and Design, LP on behalf of Joshua Swiercinsky of 7.1 Ridge, LLC for the approval of a Preliminary Plat for Lots 1-7, Block A, Sky Ridge Addition being a 8.583-acre parcel of land identified as Lot 1, Block A, Sky Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, generally located west of the intersection of Ridge Road [FM-740] and W. Yellow Jacket Lane, and take any action necessary.

(IV) PUBLIC HEARING ITEMS

(3) **Z2021-001 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Otoniel Jaramillo for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.50-acre parcel of land identified as Lot 17, Block B, Lago Vista Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 18 (PD-18) for Single-Family 10 (SF-10) District land uses, addressed as 2825 Marcie Lane, and take any action necessary.

(4) **Z2021-002 (DAVID GONZALES)**

Hold a public hearing to discuss and consider a request by Lisa White of Boing US HoldCo, Inc. on behalf of Donald L. Silverman of Rockwall 205-552, LLC for the approval of a Specific Use Permit (SUP) for Self Service Car Wash and Auto Detail on a 0.89-acre tract of land identified as a portion of Lot 2, Block A, Dalton Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3611 N. Goliad Street [SH-205], and take any action necessary.

(5) **Z2021-003 (DAVID GONZALES) [REQUEST TO POSTPONE TO MARCH 9, 2021]**

Hold a public hearing to discuss and consider a request by Jason Castro of Castro Development, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.165-acre parcel of land identified as Lot 6, Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and take any action necessary.

(V) DISCUSSION ITEMS

(6) Director's Report of post City Council meeting outcomes for development cases (**RYAN MILLER**).

- P2020-052: Replat for Lots 2, 3, & 4, Block A, North Lakeshore Daycare Addition (**APPROVED**)
- P2021-002: Replat for Lot 7, Block C, Ellis Center, Phase 2 Addition (**APPROVED**)
- P2021-003: Final Plat for Lot 1, Block A, R. S. Lofland Subdivision (**APPROVED**)
- Z2020-055: SUP for a General Retail Store at 505 N. Goliad Street (**APPROVED; 2ND READING**)
- Z2020-056: Zoning Change of NS & SF-16 to PD for SF-10 for Nelson Lake (**APPROVED; 2ND READING**)
- Z2020-057: Zoning Change of SF-10 & PD-41 for SF-10 to PD-41 for GR for 1940 N. Lakeshore Drive (**APPROVED; 2ND READING**)
- Z2020-058: SUP for an Accessory Structure at 507 N. Clark Street (**APPROVED; 2ND READING**)
- Z2020-060: Zoning Change of AG & SFE-2.0 to SFE-1.5 (**APPROVED; 2ND READING**)

(VI) ADJOURNMENT

(VII) WORK SESSION

- (7) Work Session. A work session for general training purposes will be held in the City Council meeting room immediately following the adjournment of the February 9, 2021 Planning and Zoning Commission meeting **(RYAN MILLER)**.

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Government Code §551.071 (Consultation with City Attorney).

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on February 5, 2021 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES

PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
JANUARY 26, 2021 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 I. CALL TO ORDER
3

4 Chairman Eric Chodun called the meeting to order at 6:00 PM. Commissioners present were John Womble, Derek Deckard, Sedric Thomas,
5 Jean Conway, Mark Moeller, and Vice-Chairman Jerry Welch. Staff members present were Planning and Zoning Director Ryan Miller,
6 Planning and Zoning Manager David Gonzales, Planner Henry Lee, Planning and Zoning Coordinator Angelica Gamez, City Engineer Amy
7 Williams and Civil Engineers Sarah Johnston and Jeremy White.
8

9 II. OPEN FORUM
10

11 Chairman Chodun explained how open forum is conducted and asked if anyone wished to speak to come forward at this time.
12

13 **Bob Wacker**
14 309 Featherstone
15 Rockwall, TX 75087
16

17 **Mr. Wacker came forward and wanted to raise the issue regarding noise levels with case Z2021-002.**
18

19 **Chairman Chodun asked if anyone else wished to speak; there being no one coming forward, Chairman Chodun closed the open forum.**
20

21 III. APPOINTMENTS
22

- 23 1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments
24 for items on the agenda requiring architectural review.
25

26 **A representative from the Architectural Review Board gave a brief explanation concerning the agenda items that were discussed at the**
27 **Architectural Review Board meeting.**
28

29 IV. CONSENT AGENDA
30

- 31 2. Approval of Minutes for the January 12, 2021 Planning and Zoning Commission meeting.
32

33 3. **P2020-052 (HENRY LEE)**

34 Consider a request by Doug Galloway of Viaduct Development on behalf of GotRocks Properties, LLC for the approval of a Replat for Lots 2, 3 &
35 4, Block A, North Lake Shore Daycare Addition being a replat of a 2.96-acre parcel of land identified as Lot 1, Block A, North Lake Shore Daycare
36 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 41 (PD-41) for Single-Family 10 (SF-10) District land
37 uses and Single-Family 10 (SF-10) District, addressed as 1940 N. Lakeshore Road, and take any action necessary.
38

39 4. **P2021-002 (HENRY LEE)**

40 Consider a request by Anna C. Blackwell of Carrillo Engineering on behalf Harry J. Kuper of SVEA Industrial II, LLC for the approval of a Replat
41 for Lot 7, Block C, Ellis Center, Phase Two Addition being a 1.905-acre tract of land identified as a portion of Lot 3 and all of Lot 3A-R, Block C,
42 Ellis Center, Phase Two Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1203 Sigma Court,
43 and take any action necessary.
44

45 5. **P2021-003 (HENRY LEE)**

46 Consider a request by Corby Bell and Mandy Dorman for the approval of a Final Plat for Lot 1, Block A, R. S. Lofland Subdivision being a 0.304-
47 acre tract of land identified as Tract 23 of the B. J. T. Lewis Survey, Abstract No. 255, City of Rockwall, Rockwall County, Texas, zoned Planned
48 Development District 53 (PD-53) for Residential Office (RO) District land uses, situated within the Scenic Overlay (SOV) District, addressed as
49 1006 Ridge Road, and take any action necessary.
50

51 **Vice-Chairman Welch made a motion to approve the consent agenda. Commissioner Thomas seconded the motion which passed by a**
52 **vote of 7-0.**
53

54 V. ACTION ITEMS
55

56 6. **MIS2021-001 (DAVID GONZALES)**

57 Discuss and consider a request by Bill Thomas of Engineering Concepts and Design, LP on behalf of Joshua Swiercinsky of 7.1 Ridge, LLC for
58 the approval of a Miscellaneous Case for a variance to the landscape buffer requirements stipulated by the General Overlay District Requirements
59 contained in the Unified Development Code (UDC) 8.583-acre parcel of land identified as Lot 1, Block A, Sky Ridge Addition, City of Rockwall,
60 Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, generally located west of the intersection
61 of Ridge Road [FM-740] and W. Yellow Jacket Lane, and take any action necessary.
62

63 Planning and Zoning Manager David Gonzales provided a brief summary in regards to the request. The applicants are seeking the
64 approval of a variance to the landscape buffer. They are requesting to vary their landscape buffer between 5-feet and 22-feet in order to
65 be able to layout their driveways. The reason why the applicant provided the concept plan is because, back in 2014, Planning and Zoning
66 Commission approved a treescape plan with the condition that they provide the requested number of trees in future development. Due
67 to this being a variance request, a compensatory measure would be that the applicant will provide 58 four inch canopy trees within this
68 landscape buffer as well as 51 accent trees. A request for a variance within the Scenic Overlay District does require a super majority
69 vote by the Commission. Mr. Gonzales advised the Commission that the applicant and Staff were present and available for questions.
70

71 Chairman Chodun asked the applicant to come forward.

72
73 Bill Thomas
74 201 Windco Circle
75 Wylie, TX 75098
76

77 Mr. Thomas came forward and provided additional details regarding his request.
78

79 Commissioner Womble asked what would happen if another applicant were to come in and request another layout. Would the request
80 still be needed?
81

82 Commissioner Deckard made a motion to approve item MIS2021-001. Commissioner Womble seconded the motion which passed by a
83 vote of 7-0.
84

85 VI. DISCUSSION ITEMS
86

87 7. Z2021-001 (HENRY LEE)

88 Hold a public hearing to discuss and consider a request by Otoniel Jaramillo for the approval of a *Specific Use Permit (SUP)* for Residential Infill
89 in an Established Subdivision on a 0.50-acre parcel of land identified as Lot 17, Block B, Lago Vista Addition, City of Rockwall, Rockwall County,
90 Texas, zoned Planned Development District 18 (PD-18) for Single-Family 10 (SF-10) District land uses, addressed as 2825 Marcie Lane, and take
91 any action necessary.
92

93 Planner Henry Lee provided a brief summary in regards to the request. The applicant is requesting the approval of a Specific Use Permit
94 for the purpose of constructing a single-family residence. Mr. Lee wanted to note that the applicant's request does meet all of the density
95 and dimension requirements pertaining to the request.
96

97 Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on February 9, 2021.
98

99 8. Z2021-002 (DAVID GONZALES)

100 Hold a public hearing to discuss and consider a request by Lisa White of Boing US HoldCo, Inc. on behalf of Donald L. Silverman of Rockwall 205-
101 552, LLC for the approval of a *Specific Use Permit (SUP)* for Full Service Car Wash and Auto Detail on a 0.89-acre tract of land identified as a
102 portion of Lot 2, Block A, Dalton Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the
103 North SH-205 Overlay (N. SH-205 OV) District, addressed as 3611 N. Goliad Street [SH-205], and take any action necessary.
104

105 Planning and Zoning Manager David Gonzales provided a brief summary in regards to the request. Mr. Gonzales indicated that Staff had
106 some questions in regards to the Specific Use Permit (SUP) that is going to be requested with some of those questions referring to the
107 orientation of the tunnel. The Unified Development Code (UDC) does not allow it to be facing a right-of-way. Staff would also like
108 clarification on the kind of vending machine that is being requested.
109

110 Chairman Chodun asked the applicant to come forward.
111

112 Lisa White
113 6300 S. Syracuse Way, Suite 205
114 Centennial, CO 80111
115

116 The applicant came forward and provided additional details in regards to her request as well as answered questions provided by Staff.
117 She added that a noise assessment had been done prior to the meeting.
118

119 Mr. Miller asked if the noise assessment included the vacuum base but it did not. It only included the tunnel.

120 Mr. Gonzales added that if the SUP was approved then Staff would look at building elevations and answer stone requirement questions
121 during the site plan process.

122 Mr. Miller added that there are some areas of non-compliance on the elevations such as the articulation and the HVAC units which are
123 visible. He added that there several easements that inhibit landscaping being put in front of that tunnel.

124 Mr. Gonzales explained that due to the residential adjacency, they could not be within 150-feet of the residences.
125

126 Vice-Chairman Welch asked if it was possible to use potted landscaping.
127

128 Commissioner Womble asked if there was any proposed idea between the school and the subject property about buffering purposes.
129 Commissioner Conway asked if there were going to be any other services provided besides car washing. The applicant explained that
130 it was a self-service car wash and not a full service car wash.

131 The applicant explained that the vending machines would sell armor all wipes and would be credit card use only.
132 Commissioner Thomas asked about the traffic study and asked how many vacuums would be going in.

133
134 Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on February 9, 2021.
135

136 9. **Z2021-003 (DAVID GONZALES)**

137 Hold a public hearing to discuss and consider a request by Jason Castro of Castro Development, LLC for the approval of a *Specific Use Permit*
138 *(SUP)* for Residential Infill in an Established Subdivision on a 0.165-acre parcel of land identified as Lot 6, Harris Addition, City of Rockwall,
139 Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and take any action necessary.
140

141 Planning and Manager David Gonzales provided a brief summary in regards to the request.
142

143 Chairman Chodun asked the applicant to come forward.
144

145 Jason Castro
146 16424 Fall Kirk Drive
147 Dallas, TX 75248
148

149 Mr. Castro came forward and provided details in regards to his request. He also indicated he had some questions for Staff.
150

151 Mr. Gonzales added that the subject property requires a flood study and a variance to allow for flat-front entry garage.
152 Commissioner Conway asked if it was required to be a duplex and mentioned whether it would set a precedence.

153 Mr. Miller explained that the zoning allows duplexes by right on the property. Commissioners will need to look at whether or not the
154 request is compatible with the district.
155

156 Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on February 9, 2021.
157

158 10. **P2021-001 (DAVID GONZALES)**

159 Discuss and consider a request by Bill Thomas of Engineering Concepts and Design, LP on behalf of Joshua Swiercinsky of 7.1 Ridge, LLC for
160 the approval of a *Preliminary Plat* for Lots 1-7, Block A, Sky Ridge Addition being a 8.583-acre parcel of land identified as Lot 1, Block A, Sky
161 Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District,
162 generally located west of the intersection of Ridge Road [FM-740] and W. Yellow Jacket Lane, and take any action necessary.
163

164 Planning and Zoning Manager David Gonzales provided a brief summary in regards to the request. He explained that approval of the
165 Miscellaneous case earlier in the meeting was a condition of approval for this preliminary plat. This item will come back on Consent
166 Agenda at the upcoming Public Hearing.
167

168 11. **SP2021-001 (HENRY LEE)**

169 Discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf Kevin Passons of Rockwall Central Appraisal District for the
170 approval of a *Site Plan* for an office building on a 1.707-acre parcel of land identified as Lot 1A-R, Block A, Lofland Industrial Park Addition, City
171 of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 841 Justin Road, and take any action necessary.
172

173 Planner Henry Lee provided a brief summary in regards to the request. Mr. Lee explained that this request was viewed by the
174 Architectural Review Board and it does not require any variances. The proposed building meets all of the density and dimensional
175 requirements. Since the applicant is not requesting any variances then Staff will work with the applicant and discuss the comments
176 made by the Architectural Review Board. Mr. Lee then indicated that this item will come back on Consent Agenda at the next meeting.
177

178 12. *Director's Report* of post City Council meeting outcomes for development cases (RYAN MILLER).
179

- 180 • Z2020-055: SUP for a *General Retail Store* at 505 N. Goliad Street [APPROVED; 1st READING]
- 181 • Z2020-056: Zoning Change of NS & SF-16 to PD for SF-10 for Nelson Lake [APPROVED; 1st READING]
- 182 • Z2020-057: Zoning Change of SF-10 & PD-41 for SF-10 to PD-41 for GR for 1940 N. Lakeshore Drive [APPROVED; 1st READING]
- 183 • Z2020-058: SUP for an *Accessory Structure* at 507 N. Clark Street [APPROVED; 1st READING]
- 184 • Z2020-060: Zoning Change of AG & SFE-2.0 to SFE-1.5 [APPROVED; 1st READING]
- 185

186 Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council
187 meeting.
188

189 VII. ADJOURNMENT
190

191 Chairman Chodun adjourned the meeting at 6:39 PM.
192

193 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of ____
194 _____, 2021.
195

196 _____
197 Eric Chodun, Chairman
198

199
200
201
202

Attest:

Angelica Gamez, Planning and Zoning Coordinator



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: February 9, 2021
APPLICANT: Bill Thomas; *Engineering Concepts and Design, LP*
CASE NUMBER: P2021-001; *Preliminary Plat for Lots 1-7, Block A, Sky Ridge Addition*

SUMMARY

Discuss and consider a request by Bill Thomas of Engineering Concepts and Design, LP on behalf of Joshua Swiercinsky of 7.1 Ridge, LLC for the approval of a Preliminary Plat for Lots 1-7, Block A, Sky Ridge Addition being a 8.583-acre parcel of land identified as Lot 1, Block A, Sky Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, generally located west of the intersection of Ridge Road [FM-740] and W. Yellow Jacket Lane, and take any action necessary.

PLAT INFORMATION

- ☑ The purpose of the applicant's request is to preliminary plat an 8.583-acre parcel of land [*i.e. Lot 1, Block A, Sky Ridge Addition*] into seven (7) lots [*i.e. Lots 1-7, Block A, Sky Ridge Addition*] for the purpose of laying out the proposed subdivision of land and the necessary easements (*i.e. firelane, public access, utility, and drainage*) for the future development of the site. In addition to the preliminary plat, the applicant has also submitted preliminary drainage and utility plans showing how the development can be adequately served. The site is located at the intersection of Ridge Road [FM-740] and W. Yellow Jacket Lane, and is zoned Commercial (C) District. It should be noted that the subject property had previously received approval of a preliminary plat [*i.e. Case No. P2017-003*] by the City Council on January 5, 2015; however, this preliminary plat expired after one (1) year of inactivity in 2016.
- ☑ On January 26, 2021, the Planning and Zoning Commission approved a variance to the minimum 20-foot landscape buffer requirement [*i.e. Case No. MIS2021-001*] stipulated by Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) to allow a variable width landscape buffer ranging between five (5) feet and 22-feet along the front of the subject property adjacent to Ridge Road. As a compensatory measure, the approval included the provision of 58, four (4) inch caliper canopy trees and 51, four (4) foot tall accent, which are to be planted within the landscape buffer.
- ☑ On January 20, 2015, the City Council approved an *Alternative Treescape Plan* [*i.e. Case No. MIS2014-018*], allowing the removal of 1,532-caliper inches of tree in exchange for a lump sum payment into the City's *Tree Fund* in the amount of \$111, 262.00. On February 20, 2017, the City Council approved a preliminary plat for the subject property; however, the preliminary plat expired after one (1) year of inactivity.
- ☑ The purpose of the preliminary plat is to provide sufficient information to evaluate and review the general design of the development ensuring compliance with the Commercial (C) District, the OURHometown Vision 2040 Comprehensive Plan, the Unified Development Code (UDC), the Master Thoroughfare Plan, and the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances. The proposed preliminary plat appears to meet the intent of these requirements.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.

- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a preliminary plat for *Lots 1-7, Block A, Sky Ridge Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to submittal of civil engineering plans; and,
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/4/2021

PROJECT NUMBER: P2021-001
PROJECT NAME: Lots 1-7, Block A, Sky Ranch Addition
SITE ADDRESS/LOCATIONS:

CASE MANAGER: David Gonzales
CASE MANAGER PHONE: (972) 772-6488
CASE MANAGER EMAIL: dgonzales@rockwall.com

CASE CAPTION: Discuss and consider a request by Bill Thomas of Engineering Concepts and Design, LP on behalf of Joshua Swiercinsky of 7.1 Ridge, LLC for the approval of a Preliminary Plat for Lots 1-7, Block A, Sky Ridge Addition being a 8.583-acre parcel of land identified as Lot 1, Block A, Sky Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, generally located west of the intersection of Ridge Road [FM-740] and W. Yellow Jacket Lane, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	02/04/2021	Approved w/Condition

02/04/2021: P2021-001; Revision 1 - Preliminary Plat for the Sky Ridge Addition

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Preliminary Plat for Lots 1-7, Block A, Sky Ridge Addition being a 8.583-acre parcel of land identified as Lot 1, Block A, Sky Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, generally located west of the intersection of Ridge Road [FM-740] and W. Yellow Jacket Lane.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

M.3 For reference, include the case number (P2021-001) in the lower right-hand corner of all pages of all revised plan submittals.

I.4 The preliminary plat shall conform to all standards and requirements of Chapter 38, of the Municipal Code of Ordinances, Scenic Overlay (SOV) District, the Unified Development Code (UDC), staff comments provided by the Planning, Engineering, Building Inspections, and Fire Department as indicated in the Project Plan Review document.

I.5 Use a lighter gray scale for the label (i.e. Lot 1, Block A, 8.583 Acres, 373,865 SF) located on Lot 6.

I.6 Delineate and label the building setback lines adjacent to the Ridge Road.

I.7 Are all easements shown on the preliminary plat?

I.8 Please provide two (2) large copies and one PDF version for review by staff.

I.9 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Regular meeting will be held on February 9, 2021 – Consent agenda
- 2) City Council meeting will be held on February 16, 2021 – Consent agenda

I.10 Although the plat will be on the consent agenda, staff recommends that a representative be present for the meetings as scheduled above to answer any questions the Commission or Council may have regarding your request. All meetings will be held in person, in the City’s Council Chambers, and are scheduled to begin at 6:00 p.m.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	David Gonzales	02/04/2021	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/03/2021	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	David Gonzales	02/04/2021	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	David Gonzales	02/04/2021	N/A

No Comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

P2021-001

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS					
SUBDIVISION	SKY RIDGE ADDITION	LOT	1	BLOCK	A
GENERAL LOCATION	RIDGE ROAD AT YELLOWJACKET				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	C	CURRENT USE	VACANT		
PROPOSED ZONING	C	PROPOSED USE	COMMERCIAL		
ACREAGE	8.583	LOTS [CURRENT]	1	LOTS [PROPOSED]	7

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	7.1 RIDGE, LLC	<input checked="" type="checkbox"/> APPLICANT	ENGINEERING CONCEPTS AND DESIGN, LP
CONTACT PERSON	JOSHUA SWIERCINSKY	CONTACT PERSON	BILL THOMAS
ADDRESS	106 E. RUSK ST SUITE 200	ADDRESS	201 WINDCO CIRCLE
CITY, STATE & ZIP	ROCKWALL, TX 75087	CITY, STATE & ZIP	WYLIE, TX 75098
PHONE	972-771-7577	PHONE	972-941-8403
E-MAIL	JOSHUA@SKYREI.COM	E-MAIL	BILL@ECDLP.COM

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Michael Swiercinsky [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

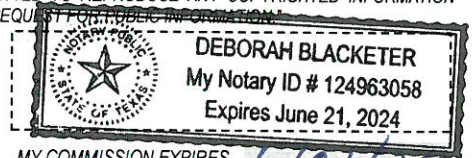
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13 DAY OF January, 2021

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

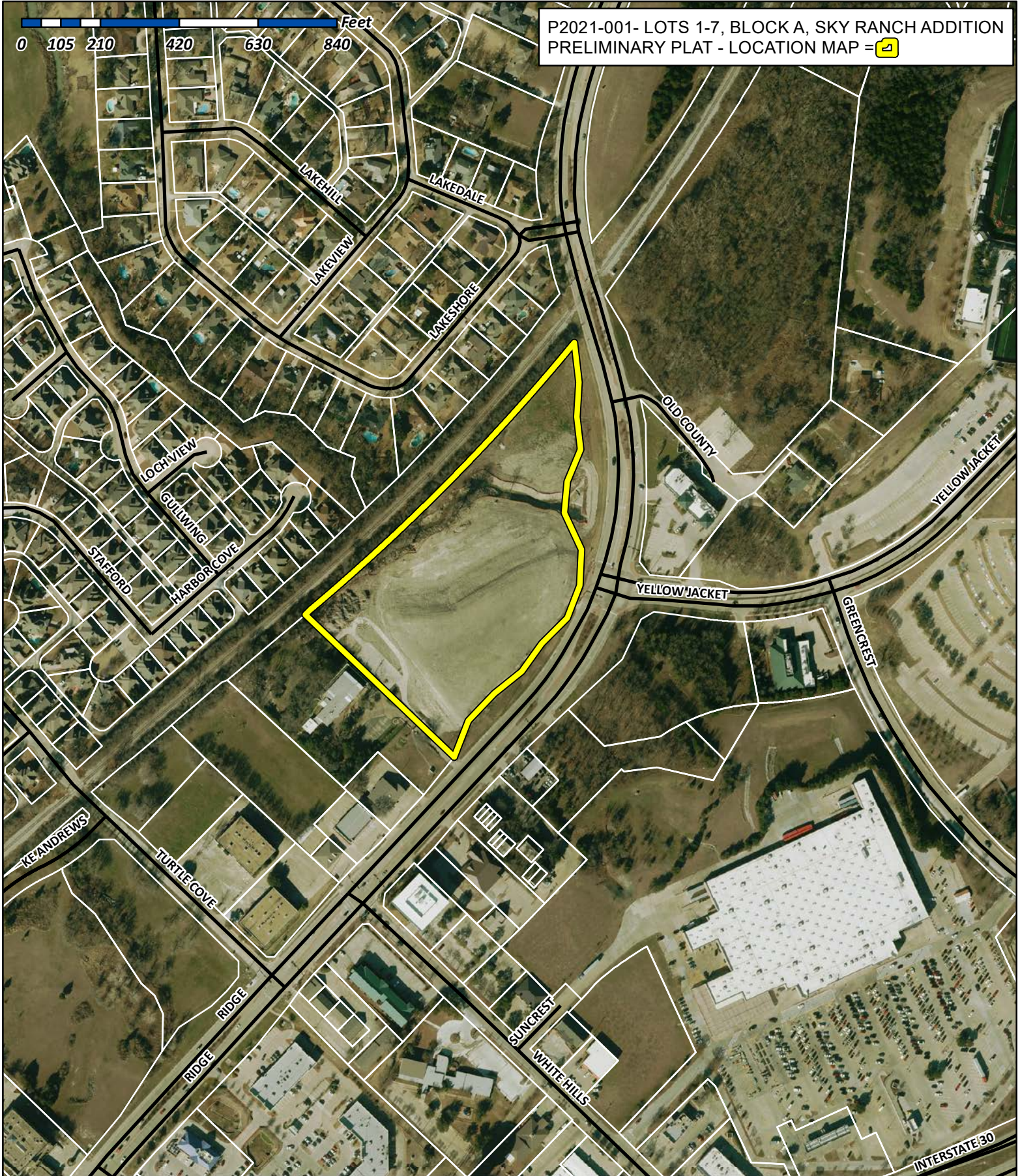
Deborah Blacketer



MY COMMISSION EXPIRES 6/21/24



P2021-001- LOTS 1-7, BLOCK A, SKY RANCH ADDITION
PRELIMINARY PLAT - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

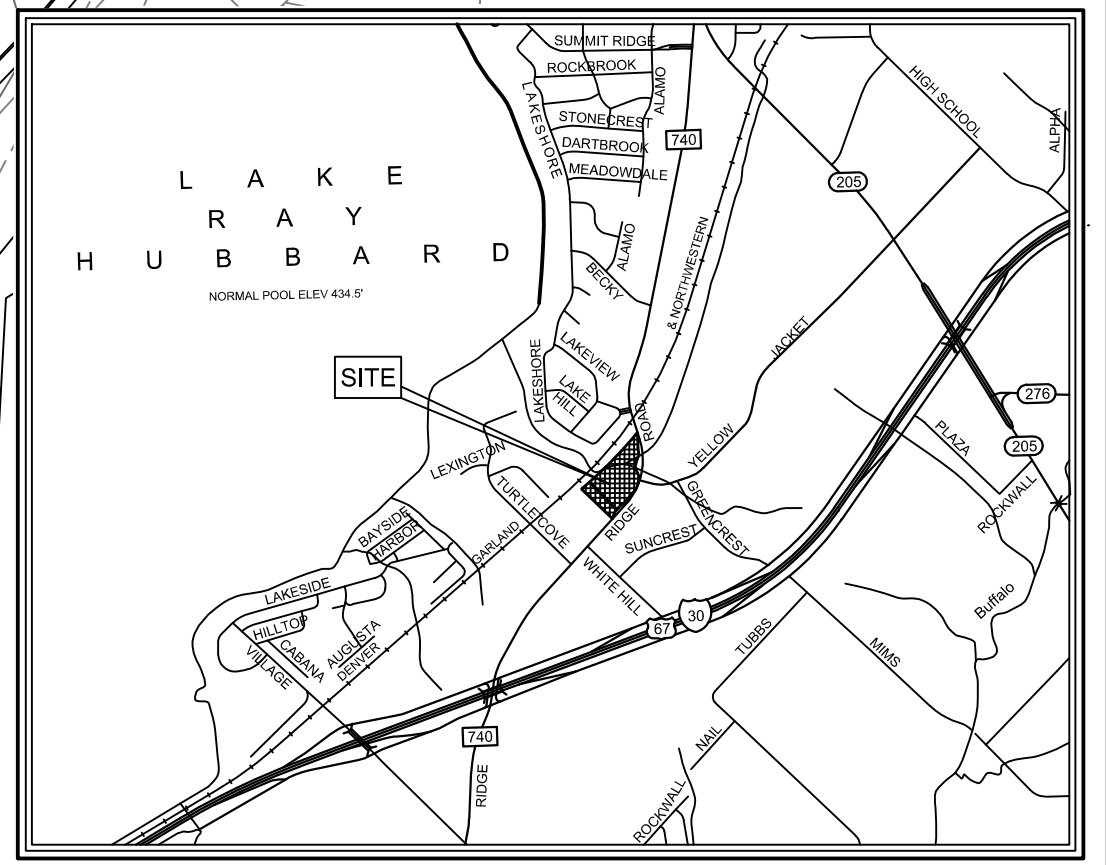
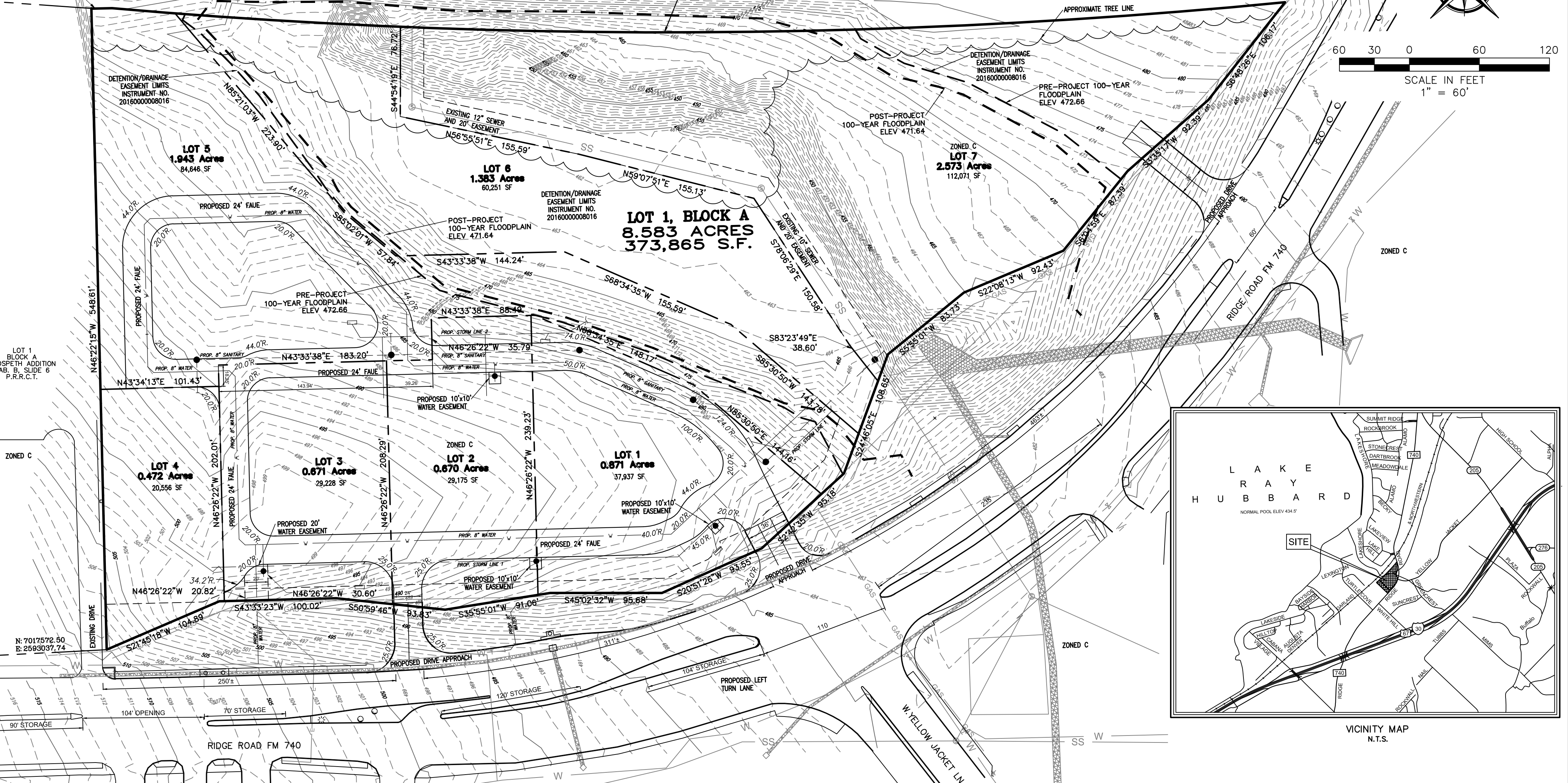
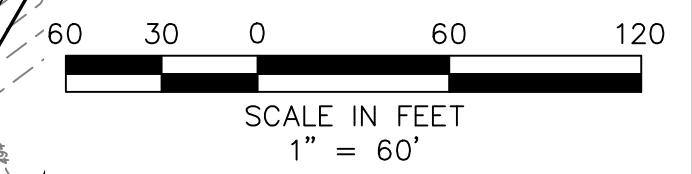
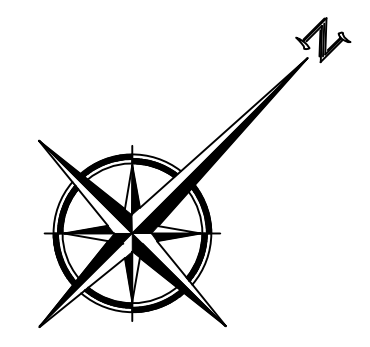


Z:\PROJECTS\03775A\05 CAD Files\06 Preliminary\3775A Prelim Plat 18x24.dwg - 18x24 Plotted Feb 02, 2021 at 11:49am by Clayton Mulrey | Last Saved by: Clayton Mulrey

N43°40'54"E
17.68'

N: 7018680.12
E: 2593348.46

$\Delta=10'34'19"$
 $R=5,449.50'$
 $L=1,005.51'$
 $CB=N44'42'39"E$
 $CL=1,004.09'$



THE LOCATION OF THE DEVELOPMENT IS REQUIRED TO BE TIED TO A ROCKWALL MONUMENT, OR TIE 2 CORNERS TO STATE PLANE COORDINATED (NAD 83 STATE PLANE TEXAS, NORTH CENTRAL [7202], US SURVEY EAST)

THE PROPERTY OWNER WILL BE RESPONSIBLE FOR MAINTAINING, REPAIR, AND REPLACEMENT OF THE DETENTION/DRAINAGE SYSTEMS.

LEGEND

FAUE	FIRELANE, ACCESS & UTILITY EASEMENT
	EX FIRE HYDRANT ASSY
	EX SANITARY SEWER MH
	EX WATER VALVE
	PROP. MANHOLE
	PROP. FIRE HYDRANT

RECOMMENDED FOR PRELIMINARY APPROVAL

Planning and Zoning Commission	Date	
APPROVED FOR SUBMITTAL OF FINAL PLAT		
Mayor, City of Rockwall	City Secretary	City Engineer

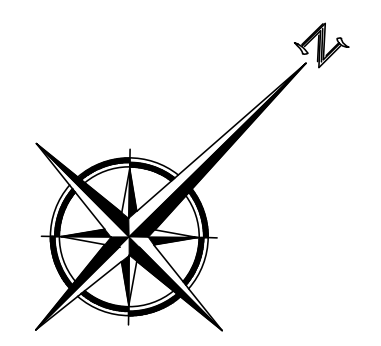
OWNER/DEVELOPER
7.1 RIDGE LLC
106 E. RUSK ST., STE. 200
ROCKWALL, TX 75087
972-771-7577

LAND SURVEYOR
R.C. MYERS SURVEYING, LLC
3400 OXFORD DRIVE
ROWLETT, TX 75088
(213) 532-0636
FAX (972) 412-4875

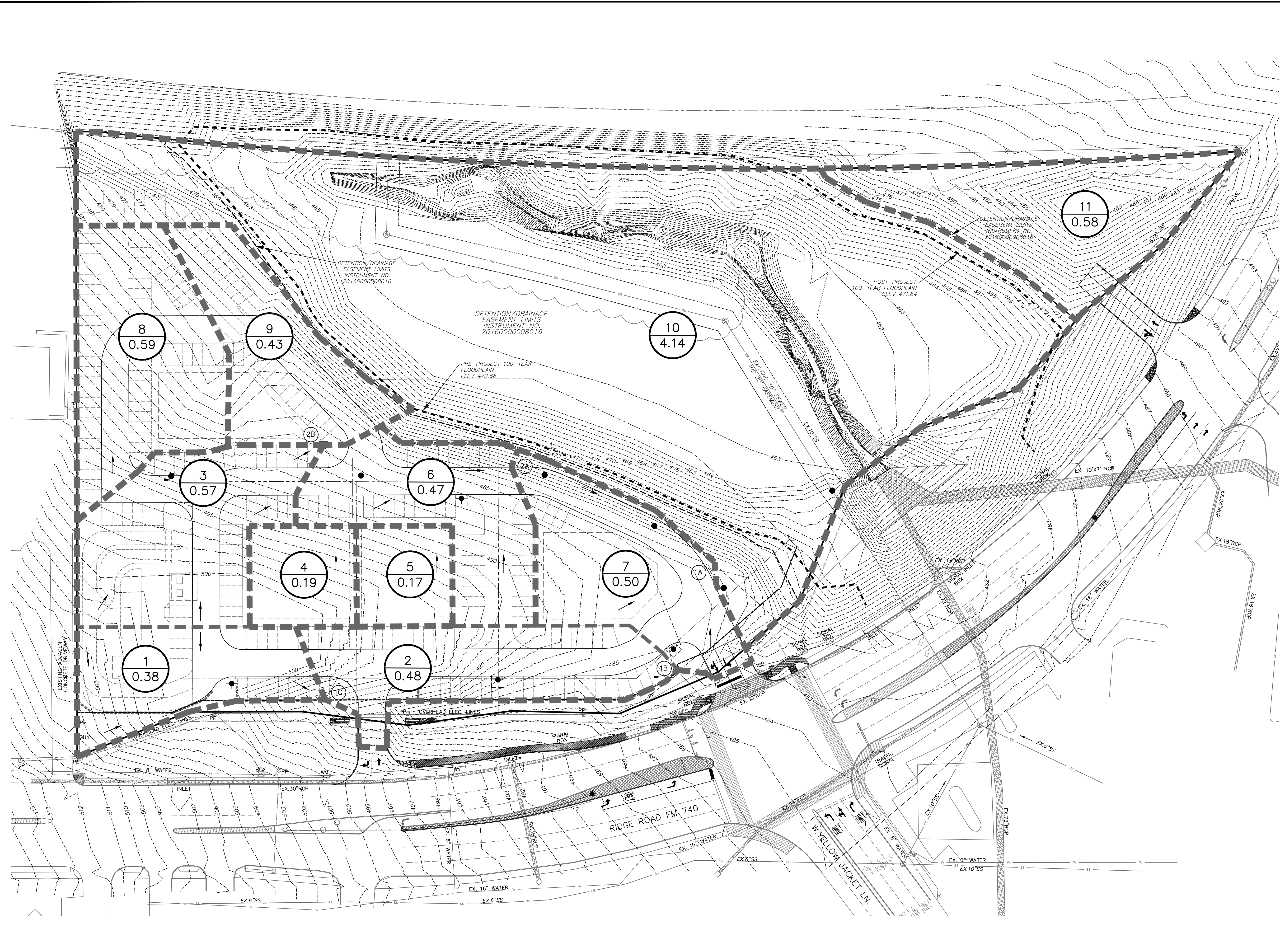
PRELIMINARY PLAT
SKY-RIDGE ADDITION
LOTS 1-7, BLOCK A
8.583 ACRES

SITUATED IN THE
E.P. GAINES CHISUM SURVEY, A-64
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

ENGINEERING CONCEPTS & DESIGN, L.P.
ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES
TEXAS FIRM REG. NO. 001145
201 WINDCO CIRCLE, SUITE 200, WYLIE TEXAS 75098
(972) 941-8400 FAX (972) 941-8401



SCALE IN FEET
H: 1" = 40'



LEGEND

- 1
0.36 DRAINAGE AREA NUMBER
DRAINAGE AREA SIZE (AC)
- DRAINAGE DIVIDE
- FLOW DIRECTION
- 5.50 --- EXISTING CONTOURS
- (A1) INLET NAME

PROPOSED DRAINAGE CALCULATIONS

AREA #	AREA (acres)	C	Tc	Q(100) (m ³ /hr)	Q(100) (cfs)	COMMENTS
1	0.38	0.90	10	9.80	3.35	TO STORM INLET 1C
2	0.48	0.90	10	9.80	4.23	TO STORM INLET 1B
3	0.57	0.90	10	9.80	5.03	TO STORM INLET 2B
4	0.19	0.90	10	9.80	1.68	SHEET FLOW
5	0.17	0.90	10	9.80	1.50	SHEET FLOW
6	0.47	0.90	10	9.80	4.15	TO STORM INLET 2A
7	0.50	0.90	10	9.80	4.41	TO STORM INLET 1A
8	0.59	0.90	10	9.80	5.20	SHEET FLOW
9	0.43	0.90	10	9.80	3.79	SHEET FLOW
10	4.14	0.90	10	9.80	36.51	SHEET FLOW
11	0.58	0.90	10	9.80	5.12	SHEET FLOW

100 YEAR FLOOD ELEVATION PER THE STUDY BY DAVID MCLENDON, P.E. THE STUDY INCORPORATES DETENTION FOR THE DEVELOPABLE PORTION OF THIS PROPERTY AT FULLY DEVELOPED CONDITIONS.

Z:\PROJECTS\03775A\05 CAD Files\08 Preliminary\03775A DAM.dwg-DAM Plotted Feb 02, 2021 at 11:45am by Clayton Mulvey | Last Saved by: Clayton Mulvey

MON. R005-1 N: 7023593.75795; E: 2594175.58258; ELEVATION: 578.6314.
RESET CONCRETE MONUMENT W/BRASS CAP LOCATED IN MEDIAN OF SUMMIT RIDGE DRIVE INTERSECTING F.M. HWY. NO. 740.
MON. R007 N: 7013837.484; E: 2595453.327; ELEVATION: 566.223.
BEING LOCATED ON THE EAST SIDE OF INTERSECTION I-30 SOUTH SERVICE ROAD & MIMS ROAD.

CAUTION!
THE UTILITIES SHOWN ON THESE PLANS WERE COMPILED FROM VARIOUS SOURCES AND ARE INTENDED TO SHOW THE GENERAL EXISTENCE AND LOCATION OF UTILITIES IN THE AREA OF CONSTRUCTION. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE UTILITY INFORMATION SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT UTILITY COMPANIES 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ACTIVITIES IN ORDER TO DETERMINE IF THERE ARE ANY CONFLICTS WITH THE PROPOSED FACILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICTS WITH EXISTING UTILITIES ARE DISCOVERED.

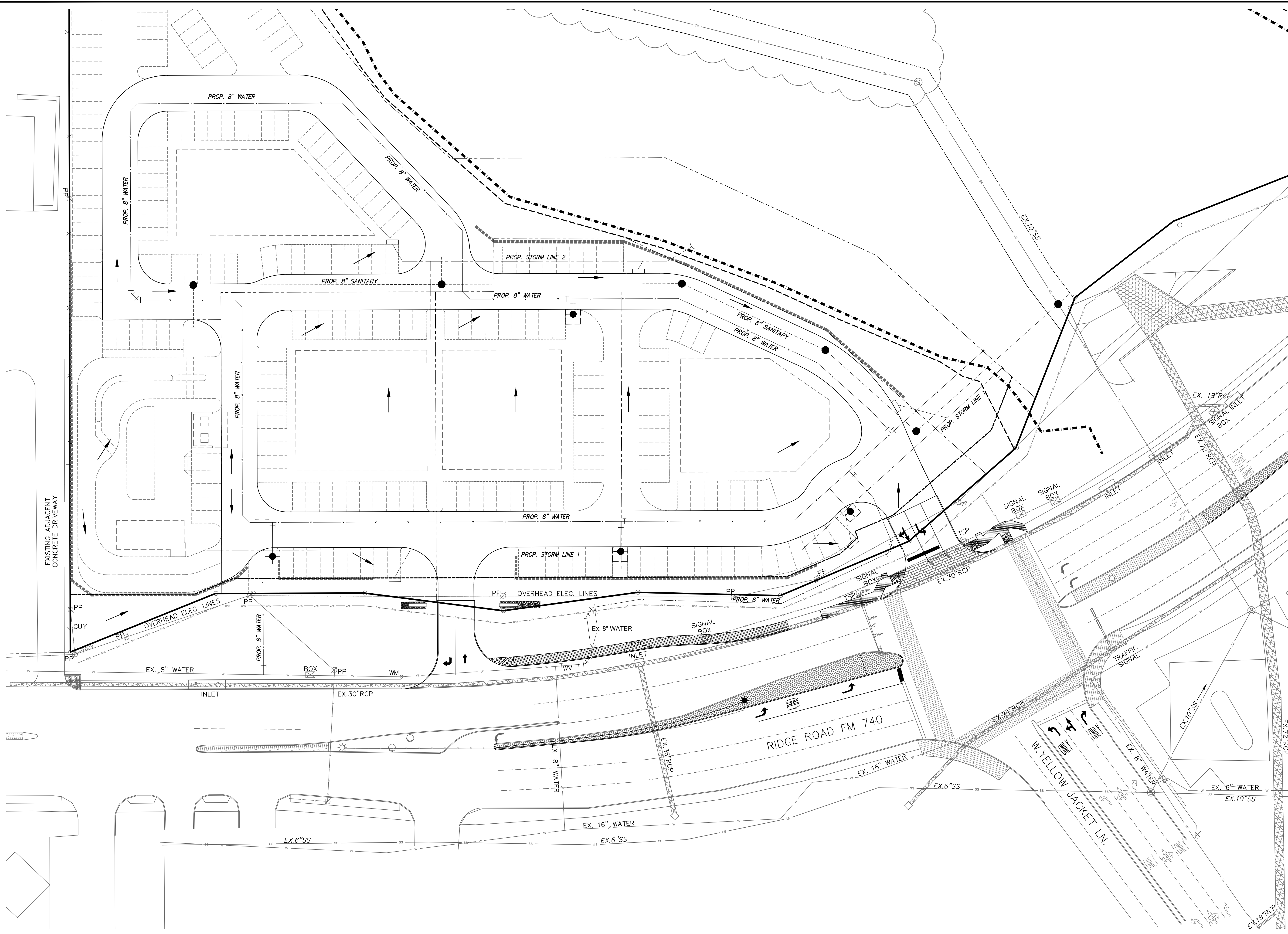
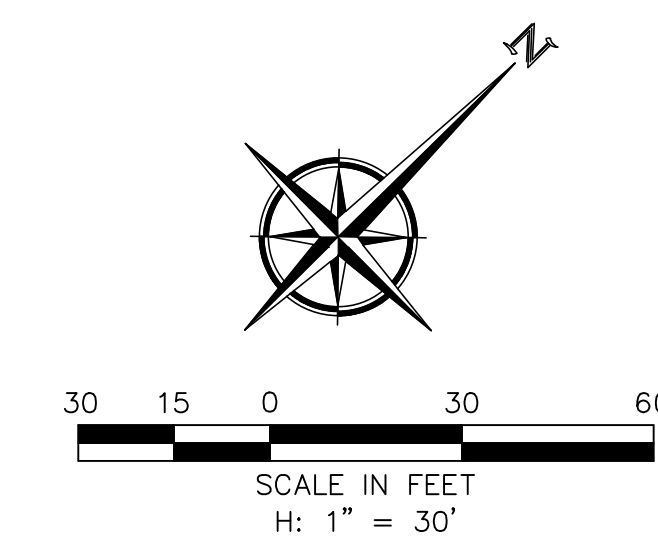
ENGINEERINGCONCEPTS & DESIGN, L.P.
ENGINEERING / PROJECT MANAGEMENT / CONSTRUCTION SERVICES - FIRM REG. #F-001145
201 WINDCO CIR, STE 200, WYLIE, TX 75098
972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

DRAWN: ECDLP	DATE: February 2, 2021
CHECKED: TW	DATE: February 2, 2021
PROJECT NO.: 03775A	
DWG FILE NAME: 03775A DAM.DWG	

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW AND BIDDING ONLY.



PRELIMINARY DRAINAGE AREA MAP
SKY-RIDGE ADDITION
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS



Z:\PROJECTS\03775A\05 CAD Files\08 Prelim\03775A Prelim UTL.dwg - PRELIM UTL Plotted Feb. 02, 2021 at 11:41am by Clayton Mulrey

MON. R005-1 N: 7023593.75795; E: 2594175.58258;
ELEVATION: 578.6314.
RESET CONCRETE MONUMENT W/BRASS CAP LOCATED IN
MEDIAN OF SUMMIT RIDGE DRIVE INTERSECTING F.M. HWY. NO.
740.
MON. R007 N: 7013837.484; E: 2595453.327; ELEVATION:
566.223.
BEING LOCATED ON THE EAST SIDE OF INTERSECTION I-30
SOUTH SERVICE ROAD & MIMS ROAD.

CAUTION!
THE UTILITIES SHOWN ON THESE PLANS WERE COMPILED FROM VARIOUS
SOURCES AND ARE INTENDED TO SHOW THE GENERAL EXISTENCE AND
LOCATION OF UTILITIES IN THE AREA OF CONSTRUCTION. THE ENGINEER
ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE UTILITY
INFORMATION SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY
THE EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE
CONTRACTOR SHALL CONTACT UTILITY COMPANIES 48 HOURS IN
ADVANCE OF ANY CONSTRUCTION ACTIVITIES IN ORDER TO DETERMINE IF
THERE ARE ANY CONFLICTS WITH THE PROPOSED FACILITIES. THE
CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY WHEN
CONFLICTS WITH EXISTING UTILITIES ARE DISCOVERED.

ENGINEERINGCONCEPTS
& DESIGN, L.P.
ENGINEERING / PROJECT MANAGEMENT /
CONSTRUCTION SERVICES - FIRM REG. #F-001145
201 WINDCO CIR, STE 200, WYLIE, TX 75098
972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

DRAWN: ECDLP	DATE: February 2, 2021
CHECKED: TW	DATE: February 2, 2021
PROJECT NO.: 03775A	
DWG FILE NAME: 03775A PRELIM UTL.DWG	

THIS DOCUMENT IS RELEASED FOR
THE PURPOSE OF INTERIM REVIEW AND
BIDDING ONLY.

01/13/21

PRELIMINARY UTILITY PLAN
SKY-RIDGE ADDITION
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

3
SHEET



TO: Planning and Zoning Commission
DATE: February 9, 2021
APPLICANT: Otoniel Jaramillo
CASE NUMBER: Z2021-001; *Specific Use Permit (SUP) for a Residential Infill for 2825 Marcie Lane*

SUMMARY

Hold a public hearing to discuss and consider a request by Otoniel Jaramillo for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* on a 0.50-acre parcel of land identified as Lot 17, Block B, Lago Vista Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 18 (PD-18) for Single-Family 10 (SF-10) District land uses, addressed as 2825 Marcie Lane, and take any action necessary.

BACKGROUND

The subject property was annexed circa 1982. On April 8, 1985, the City Council approved *Ordinance No. 85-23*, which rezoned the subject property from an Agricultural (AG) District to Planned Development District 18 (PD-18) for townhouses. Planned Development District 18 (PD-18) was amended in 1994 [*Ordinance No. 94-18*] to change the land uses permitted on the subject property to single-family detached land uses. On April 14, 1994, the City Council approved a final plat [*Case No. PZ-1994-052*], which established the Lago Vista Subdivision. In October 2005, the City Council approved *Case No. P2005-038*, which replatted Lots 17 & 18, Block B, Lago Vista Addition into Lot 19, Block B, Lago Vista Addition; however, this plat was later vacated by *Case No. P2019-024* on January 28, 2019. Based on the reviewed information, the subject property has remained vacant since its incorporation into the City of Rockwall.

PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 2825 Marcie Lane. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 2.169-acre vacant tract of land identified as a public park and zoned Planned Development District 18 (PD-18) District for Single-Family 10 (SF-10) District land uses. Beyond this is an unimproved right-of-way owned by the City of Rockwall. North of this are several vacant parcels of land zoned Planned Development District 32 (PD-32). Beyond this is Summer Lee Drive, which is classified as a *Minor Collector* on the **City's Master Thoroughfare Plan** contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is Marcie Lane, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the **City's Master Thoroughfare Plan** contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are several lots with single-family homes zoned Planned Development District 18 (PD-18) for Single-Family 10 (SF-10) District land uses. Beyond this is Lago Vista Lane, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the **City's Master Thoroughfare Plan** contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are four (4) lots with single-family homes zoned Planned Development District 18 (PD-18) for Single-Family 10 (SF-10) District land uses. Beyond this is Parkside Circle, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the **City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan**. Beyond this are several lots with single-family homes zoned Planned Development District 18 (PD-18) for Single-Family 10 (SF-10) District land uses.

West: Directly west of the subject property are two lots with single-family homes zoned Planned Development District 18 (PD-18) for Single-Family 10 (SF-10) District land uses. Beyond this is the intersection of Marcie Lane and Mira Vista Lane, which are both identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) **on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan**. Beyond this are several lots with single-family homes zoned Planned Development District 18 (PD-18) for Single-Family 10 (SF-10) District land uses. Beyond this is Summer Lee Drive, which is classified as a *Minor Collector* **on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan**.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as **“(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.”** An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as **“...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.”** In this case, the subject property is located within the Lago Vista Subdivision. This subdivision has been in existence since 1994, consists of 92 lots, and is 98.91% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in Planned Development District 18 (PD-18) for Single-Family 10 (SF-10) District land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, **“...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. Residential Infill in or Adjacent to an Established Subdivision] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...”** The following is a summary of observations concerning the housing on Parkside Circle, Marcie Lane, and Mira Vista Lane compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Parkside Circle, Marcie Lane, Mira Vista Lane, and the Subject Property	Proposed Housing
Building Height	One (1) & Two (2) Story	One (1) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face south-west towards Marcie Lane.
Year Built	1997-2018	N/A
Building SF on Property	2,713SF – 4,268 SF	5,857 SF (4,747 SF of Air-Conditioned Space)
Building Architecture	Single-Family Homes	Comparable Architecture to the Surrounding Single-Family Homes
Building Setbacks:		
Front	The front yard setbacks are 25-Feet	25-Feet
Side	The side yard setbacks are greater than six (6) feet.	10-Feet
Rear	The rear yard setbacks are greater than ten (10) feet.	X>10-Feet
Building Materials	Siding, Stone, Brick, & Stucco	Stucco
Paint and Color	Red, Brown, Blue, Blonde, & White	<i>Not Specified by Applicant</i>
Roofs	Composite Shingles & Tile	Composite Shingle
Driveways/Garages	Most streets have rear entry garages, but homes along Marcie Lane are all situated in a J-Swing or Traditional Swing orientation.	The garage will be attached (J-Swing).

The proposed single-family home meets all of the density and dimensional requirements for the Single Family 10 (SF-10) District as stipulated Planned Development District 18 (PD-18) and by the Unified Development Code (UDC). For the purpose

of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Parkside Circle, Marcie Lane, and Mira Vista Lane. The proposed building elevations have also been provided in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On January 22, 2021, staff mailed 59 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the **Lago Vista, Water's Edge Lake Ray Hubbard, Signal Ridge, and Chandler's Landing Homeowner's Associations (HOAs)**, which are the only **HOA's/Neighborhood Organizations** within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted staff had received the following:

- (1) One (1) property owner notification from a property owner within the notification area (*i.e. within the 500-foot buffer*) in **favor of the applicant's request.**

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in **Exhibit 'B'** of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in **Exhibit 'C'** of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-001

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre) ¹
- Preliminary Plat (\$200.00 + \$15.00 Acre) ¹
- Final Plat (\$300.00 + \$20.00 Acre) ¹
- Replat (\$300.00 + \$20.00 Acre) ¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre) ¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre) ¹
- Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
- PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 2825 MARCIE LN

Subdivision LAGO VISTA

Lot 17 Block B

General Location

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning VACANT LOT

Current Use

Proposed Zoning

Proposed Use

Acreage

Lots [Current]

Lots [Proposed]

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner OTONIEL JARAMILLO

Applicant

Contact Person

Contact Person

Address 10951 OAKVIEW DR

Address

City, State & Zip BALCH SPRINGS TX

City, State & Zip

Phone 972-839-6065

Phone

E-Mail TJMCONSTRUCTIONSUPPLY@YAHOO.COM

E-Mail

NOTARY VERIFICATION [REQUIRED]

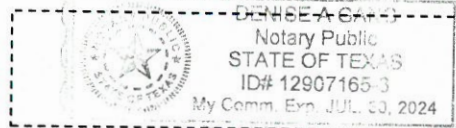
Before me, the undersigned authority, on this day personally appeared Otoniel Jaramillo (Owner) the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 15 day of January, 20 21. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

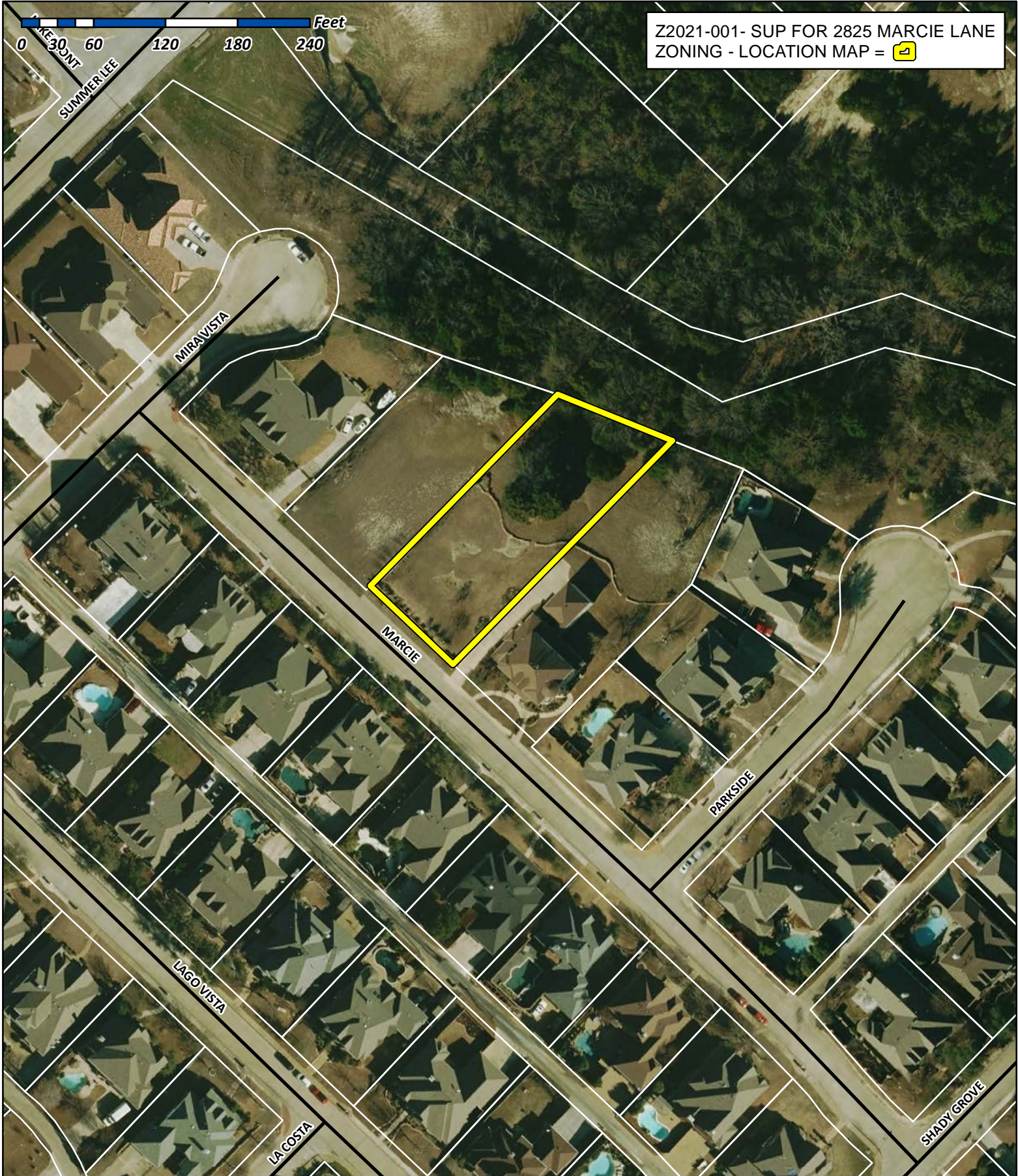
Given under my hand and seal of office on this the 15 day of January, 20 21.

Owner's Signature Otoniel Jaramillo

Notary Public in and for the State of Texas



My Commission Expires July 30, 2024



Z2021-001- SUP FOR 2825 MARCIE LANE
 ZONING - LOCATION MAP = [icon]



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

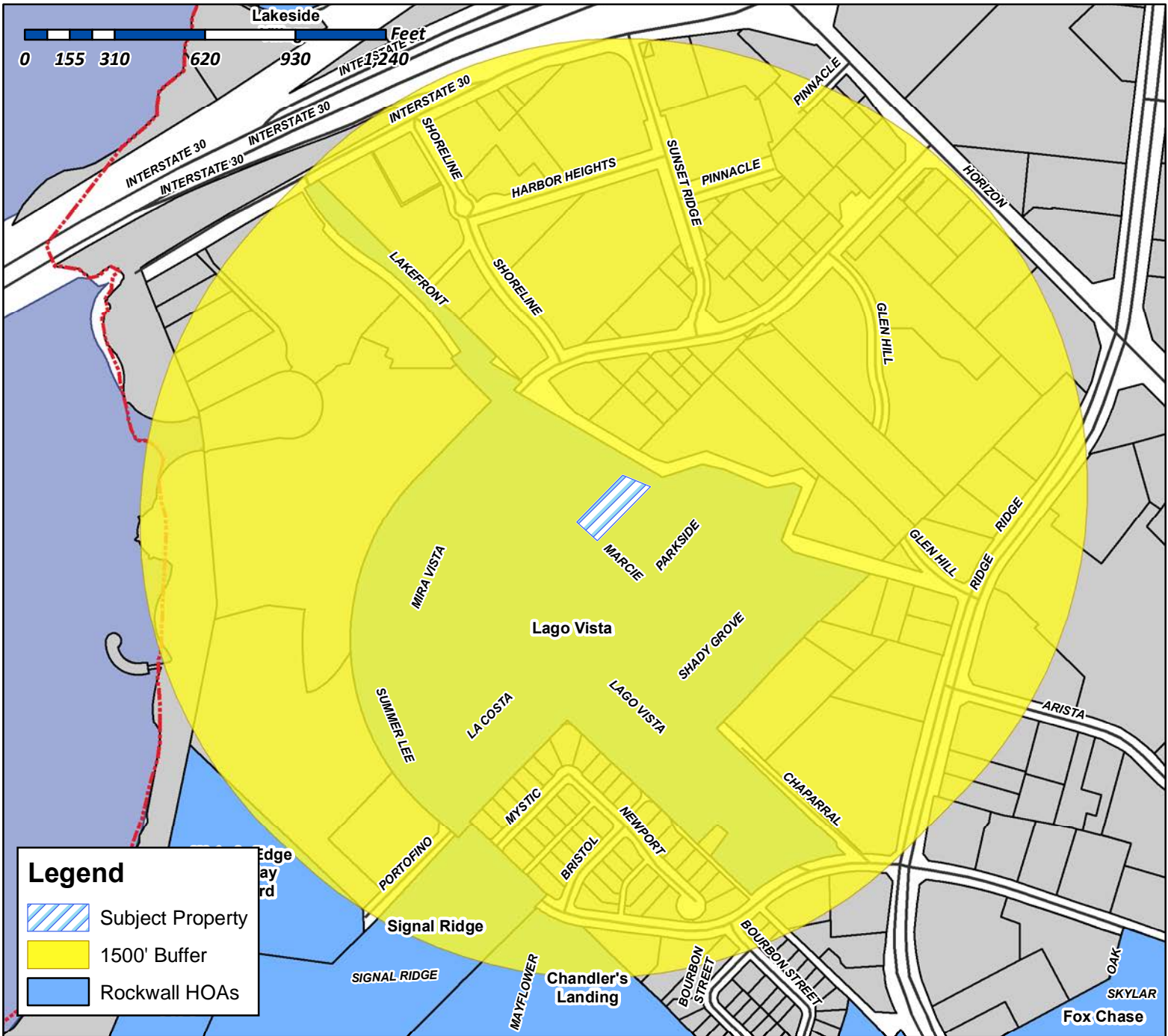




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2021-001
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 18 (PD-18)
Case Address: 2825 Marcie Lane

Date Created: 1/19/2021
 For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Gamez, Angelica
Sent: Friday, January 22, 2021 9:00 AM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program [Z2021-001]
Attachments: Public Notice (01.19.2021).pdf; HOA Map Z2021-001.pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *January 29, 2021*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, February 9, 2021 at 6:00 PM*, and the City Council will hold a public hearing on *Tuesday, February 16, 2021 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2021-001 SUP for Residential Infill in an Established Subdivision

Hold a public hearing to discuss and consider a request by Otoniel Jaramillo for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* on a 0.50-acre parcel of land identified as Lot 17, Block B, Lago Vista Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 18 (PD-18) for Single-Family 10 (SF-10) District land uses, addressed as 2825 Marcie Lane, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

This email was scanned by Bitdefender



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2021-001
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 18 (PD-18)
Case Address: 2825 Marcie Lane

Date Created: 1/19/2021
 For Questions on this Case Call (972) 771-7745



FRIEDEL JOHN M & SANDRA G
1 KEAHOLE PLACE APT 1204
HONOLULU, HI 96825

CAIN DOYLE E
1375 COUNTY ROAD 2290
MINEOLA, TX 75773

THOMPSON CHARLES C & SHARON K
1496 SHADY GROVE CIR
ROCKWALL, TX 75032

HURST LEIF AND TIFFANY
1508 SHADY GROVE CIR
ROCKWALL, TX 75032

KUGLE MITCHELL H AND JANIS D
1516 SHADY GROVE CIR
ROCKWALL, TX 75032

HASSANIZADEH MAHMOUD & VASHTI
1523 PARKSIDE CIR
ROCKWALL, TX 75032

BURGUM JILL
1524 SHADY GROVE CIR
ROCKWALL, TX 75032

FRIEDEL JOHN M & SANDRA G
1531 PARKSIDE CIR
ROCKWALL, TX 75032

PICKENS ROBERT AND
LINDA MURPHY
1534 PARKSIDE CIRCLE
ROCKWALL, TX 75032

CONFIDENTIAL
1534 SHADY GROVE CIR
ROCKWALL, TX 75032

CLIFTON LINDA J
1539 PARKSIDE CIR
ROCKWALL, TX 75032

WEISSERT JOHN
1546 PARKSIDE CIR
ROCKWALL, TX 75032

BRUCE LINDSAY R
1547 PARKSIDE CIRCLE
ROCKWALL, TX 75032

LOVERN RONALD AND NANCY
1555 PARKSIDE CIR
ROCKWALL, TX 75032

RENFRO LAVONDA D & CRAIG R
1556 PARKSIDE CIR
ROCKWALL, TX 75032

RIKE RHONDA D & GARRY
1773 LA COSTA DR
ROCKWALL, TX 75032

CITY OF ROCKWALL
205 W RUSK ST
ROCKWALL, TX 75087

HARBOR LAKE POINTE INVESTORS LLC
2701 SUNSET RIDGE DR SUITE 607
ROCKWALL, TX 75032

101 HUBBARD DR LLC
2701 SUNSET RIDGE DR SUITE 610
ROCKWALL, TX 75032

THOMPSON GARY
2730 MIRA VISTA LN
ROCKWALL, TX 75032

MCKINNEY MARVIN
2738 MIRA VISTA LANE
ROCKWALL, TX 75032

KAPRANTZAS VICTORIA J AND
ROSALIE A CRACCHIOLO
2748 MIRA VISTA LANE
ROCKWALL, TX 75032

COOLIDGE JONATHAN S & CATHEY M
2756 MIRA VISTA LN
ROCKWALL, TX 75032

DOUGLAS JOETTA & ROY
2766 MIRA VISTA LN
ROCKWALL, TX 75032

BAILEY RICHARD A AND GENA B
2774 MIRA VISTA LN
ROCKWALL, TX 75032

TURNER KATHY BAIRD
2782 MIRA VISTA
ROCKWALL, TX 75032

YU JOHNNY & HAE SUK
2804 MARCIE LN
ROCKWALL, TX 75032

MILLER DARYL & CAMILLE STEARNS
2805 LAGO VISTA LN
ROCKWALL, TX 75032

VANHOV ENTERPRISES LLC
2805 MARCIE LANE
ROCKWALL, TX 75032

PRESTENBERG W JAY & PATSY R
2806 LAGO VISTA LN
ROCKWALL, TX 75032

BUTLER ROVON AND ROSALYN
2813 LAGO VISTA LN
ROCKWALL, TX 75032

CASSADY CHARLES P
2814 MARCIE LN
ROCKWALL, TX 75032

BENNETT CLIFF AND STELLA
2815 MARCIE LN
ROCKWALL, TX 75032

BRADFORD PATRICIA L
2816 LAGO VISTA LN
ROCKWALL, TX 75032

HEDGPETH JAMES L & JANIE M
2821 LAGO VISTA LN
ROCKWALL, TX 75032

FRY ROBIN K & JASON R
2822 MARCIE LANE
ROCKWALL, TX 75032

NGUYEN LE MINHCHAU AND
BRYAN NGUYEN LE AND JESSICA NGUYEN LE
2824 LAGO VISTA LN
ROCKWALL, TX 75032

JAMES PATRICK W & TERESA F
2829 LAGO VISTA LN
ROCKWALL, TX 75032

GOEN EVAN AND DIANE RAMSEY
2830 MARCIE LANE
ROCKWALL, TX 75032

TOLBERT MELISSA RENAE
2834 LAGO VISTA LANE
ROCKWALL, TX 75032

SOUSA BRIAN
2835 MARCIE LN
ROCKWALL, TX 75032

DAVIDSON DAVID LEE & LINDA
2837 LAGO VISTA LN
ROCKWALL, TX 75032

MANI KARTHICK
2838 MARCIE LN
ROCKWALL, TX 75032

KURIAN P K & THANKAMA
2842 LAGO VISTA LN
ROCKWALL, TX 75032

GIBSON KAREN R & BRUCE K
2845 LAGO VISTA LANE
ROCKWALL, TX 75032

WILONSKY MICHAEL F & HOLLY L HAMMOND-
WILONSKY
2846 MARCIE LANE
ROCKWALL, TX 75032

MEADE BRENDA S
2853 LAGO VISTA LN
ROCKWALL, TX 75032

SANFORD CLOVIS E & BARBARA
2854 MARCIE LN
ROCKWALL, TX 75032

POTTER MICHELLE
2862 MARCIE LN
ROCKWALL, TX 75032

KIM YONG WOO
2863 LAGO VISTA LN
ROCKWALL, TX 75032

TOWNES KEVIN AND
JAN HICKS
2870 MARCI LN
ROCKWALL, TX 75032

MILLER JIMMIE D II & KELLI R
2871 LAGO VISTA LN
ROCKWALL, TX 75032

SHUPP TERRY & BETTY
2879 LAGO VISTA LN
ROCKWALL, TX 75032

CRUZ WILLIAM
2880 MARCI LN
ROCKWALL, TX 75032

WEISSERT JOHN
579 RS COUNTY ROAD 3388
ALBA, TX 75410

CRUZ WILLIAM
820 FAITH TRL
HEATH, TX 75032

PA HARBOR RETAIL LLC
8222 DOUGLAS AVENUE SUITE 390
DALLAS, TX 75201

BOSSEY JOE AND LESLIE
P.O. BOX 1381
SANGER, TX 76266

CULPEPPER /SPATEX JV
%GARY SHULTZ
PO BOX 190569
DALLAS, TX 75219

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-001: Specific Use Permit Residential Infill

Hold a public hearing to discuss and consider a request by Otoniel Jaramillo for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.50-acre parcel of land identified as Lot 17, Block B, Lago Vista Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 18 (PD-18) for Single-Family 10 (SF-10) District land uses, addressed as 2825 Marcie Lane, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, February 9, 2021 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, February 16, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, February 16, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2021-001: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

From: John Friedel <[REDACTED]>
Sent: Saturday, January 30, 2021 11:24 AM
To: Planning
Subject: Specific Use Permit (SUP) - Case No. Z2021-001 (Residential Infill)

Gentlemen:

My name is John M. Friedel and our address in the Lago Vista Subdivision is [REDACTED]

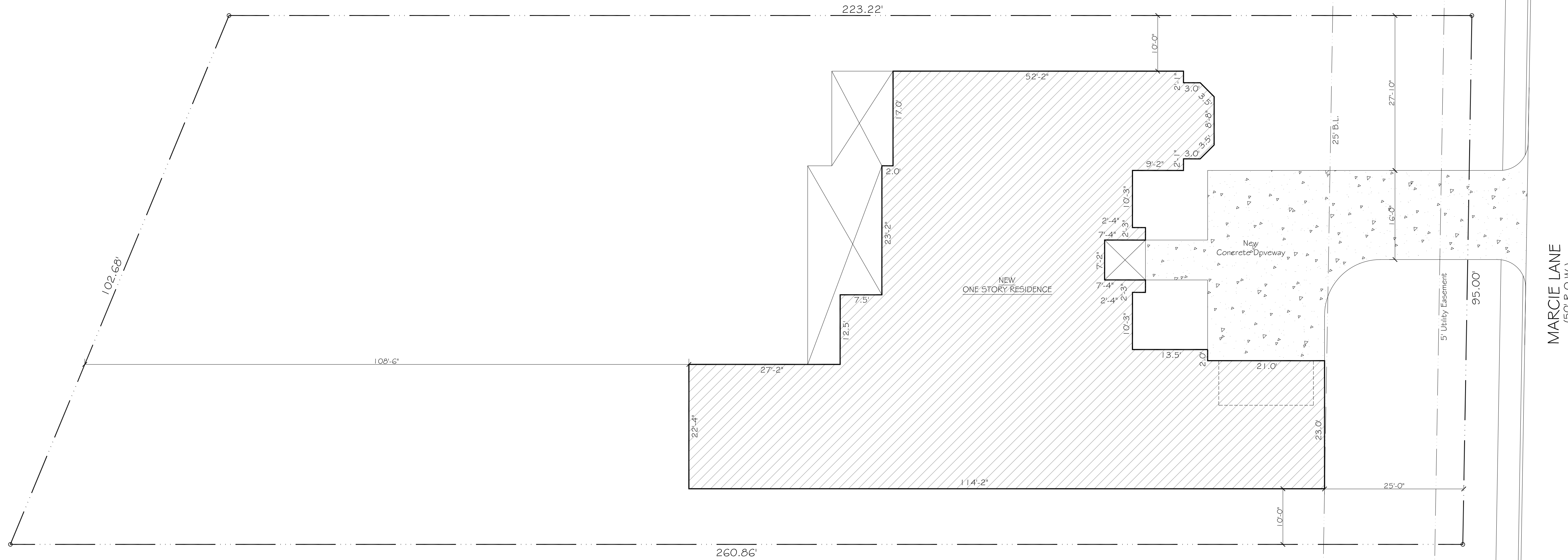
My concurrence with the proposed Lago Vista Addition is contingent on compliance with the City of Rockwall Planning and Zoning development standards, and any supplemental development restrictions levied by the Lago Vista Home Owners Association By-Laws.

For any questions, please email me or call [REDACTED]

Sincerely,
John M. Friedel

This email was scanned by Bitdefender

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

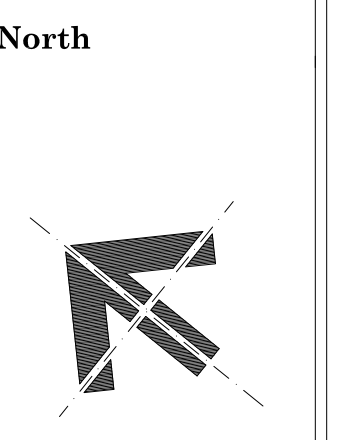


GENERAL NOTES

1. ALL WORK MUST BE DONE ACCORDING TO MANUFACTURER'S SPECIFICATIONS & INDUSTRY STANDARDS.
2. ALL WORK MUST BE DONE ACCORDING TO ALL CONCERNED CODE & REGULATIONS.
3. A STRUCTURAL ENGINEER MUST BE CONSULTED FOR ALL CONSTRUCTION DETAILS.
4. CONTRACTOR TO FIELD VERIFY BUILDING ELEVATIONS AND EXISTING UTILITIES.
5. VERIFY CLEARANCES ARE REQUIRED FOR ALL EQUIPMENT.
6. BEFORE PROCEEDING WITH ANY WORK OR ORDERING ANY MATERIALS, THE CONTRACTOR AND/OR SUBCONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND LOCATIONS OF BUILDING COMPONENTS AND THEIR INTERRELATIONSHIP AT THE BUILDING SITE, AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS.
7. CONTRACTOR AND/OR SUBCONTRACTOR IS ULTIMATELY RESPONSIBLE FOR VERIFYING AND MAKING ADJUSTMENTS TO ANY DISCREPANCIES BETWEEN THE PLANS AND THE BUILDING SITE.

SITE PLAN INFORMATION	
LOT SIZE	22,990 S.F.
BUILDING AREA	5,657 S.F.
PERCENT LOT COVERED	25.4%

A MINIMUM OF 70% OF THE NON-ROOF AREA OF THE LOT COVERED WILL HAVE LANDSCAPE (GRASS, TREES, ETC.)



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION/DESIGN INFORMATION NECESSARY TO COMPLETE THIS STRUCTURE. THE WORK, INCLUDING PLUMBING, MECHANICAL, AND ELECTRICAL SHALL BE PERFORMED IN FULL COMPLIANCE WITH ALL APPLICABLE CITY, COUNTY, STATE AND NATIONAL CODES. THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND LOCATIONS OF BUILDING COMPONENTS AND THEIR INTERRELATIONSHIP AT THE BUILDING SITE, AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS. A DISCREPANCY OCCUR BETWEEN THE PLANS AND LOCAL ORDINANCES, AND RESTRICTIONS WILL APPLY SHOULD LOCAL CODES, ORDINANCES, AND RESTRICTIONS. METHODS OF CONSTRUCTION AND ELECTION OF MATERIALS AND ASSEMBLIES SHALL BE THE CONTRACTORS RESPONSIBILITY.

2825 MARCIE LANE
 Block B Lot 17
 Rockwall, Texas 75032

Date
 JANUARY, 2021

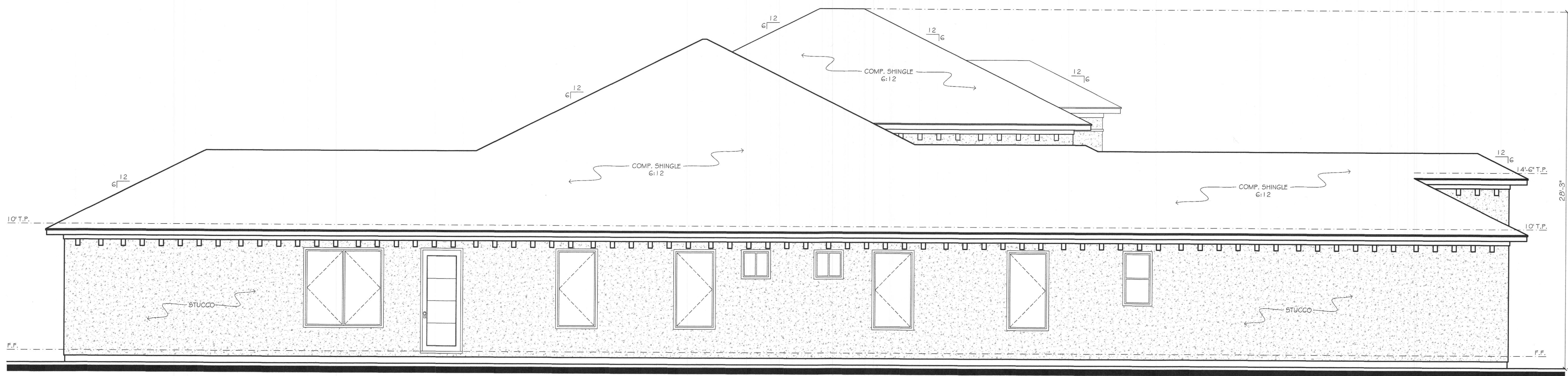
Sheet Title

SITE PLAN

Scale
 1" = 10'-0"

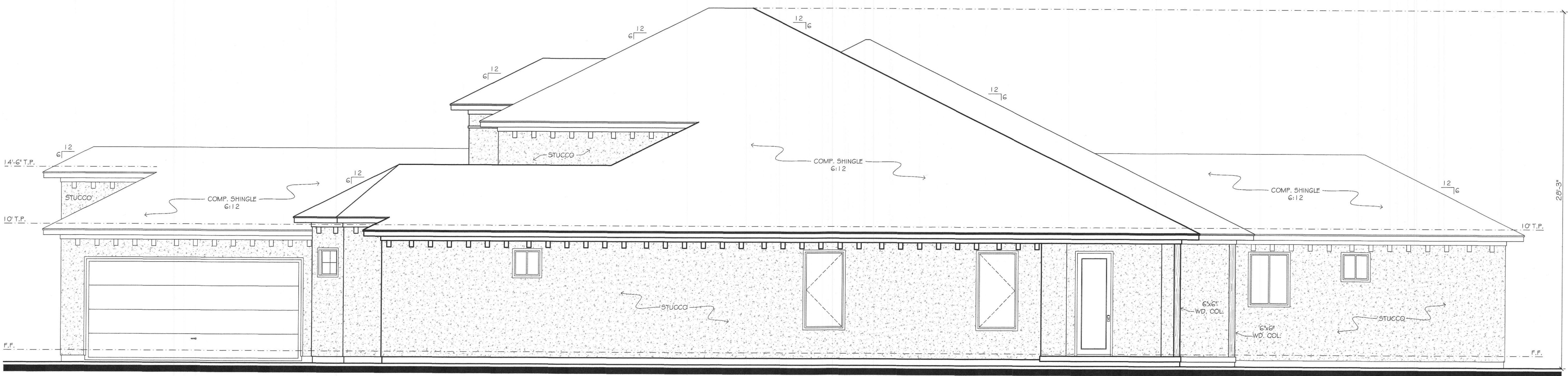
Sheet No.

A0.00



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

North

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION/DESIGN INFORMATION NECESSARY TO COMPLETE THIS STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND NATIONAL CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND NATIONAL CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND NATIONAL CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND NATIONAL CODES.

2825 MARCIE LANE
Block B Lot 17
Rockwall, Texas 75032

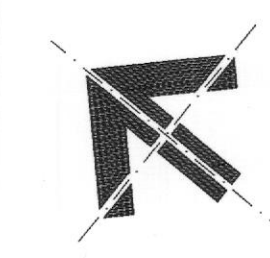
Date
JANUARY, 2021

Sheet Title
ELEVATIONS
PLAN

Scale
1/4" = 1'-0"

Sheet No.

A2.01



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION/DESIGN INFORMATION NECESSARY TO COMPLETE THIS STRUCTURE OF THE WORK INCLUDING PLUMBING, MECHANICAL, AND ELECTRICAL SHALL BE PERFORMED IN FULL COMPLIANCE WITH ALL APPLICABLE CITY, COUNTY, STATE AND NATIONAL CODES. ANY DISCREPANCY BETWEEN THE PLANS AND LOCAL CODES, ORDINANCES AND RESTRICTIONS WILL APPLY. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND LOCAL METHODS OF CONSTRUCTION AND ELECTION OF MATERIALS AND ASSEMBLIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

2825 MARCIE LANE
Block B Lot 17
Rockwall, Texas 75032

Date
JANUARY, 2021

Sheet Title

ELECTRICAL
PLAN

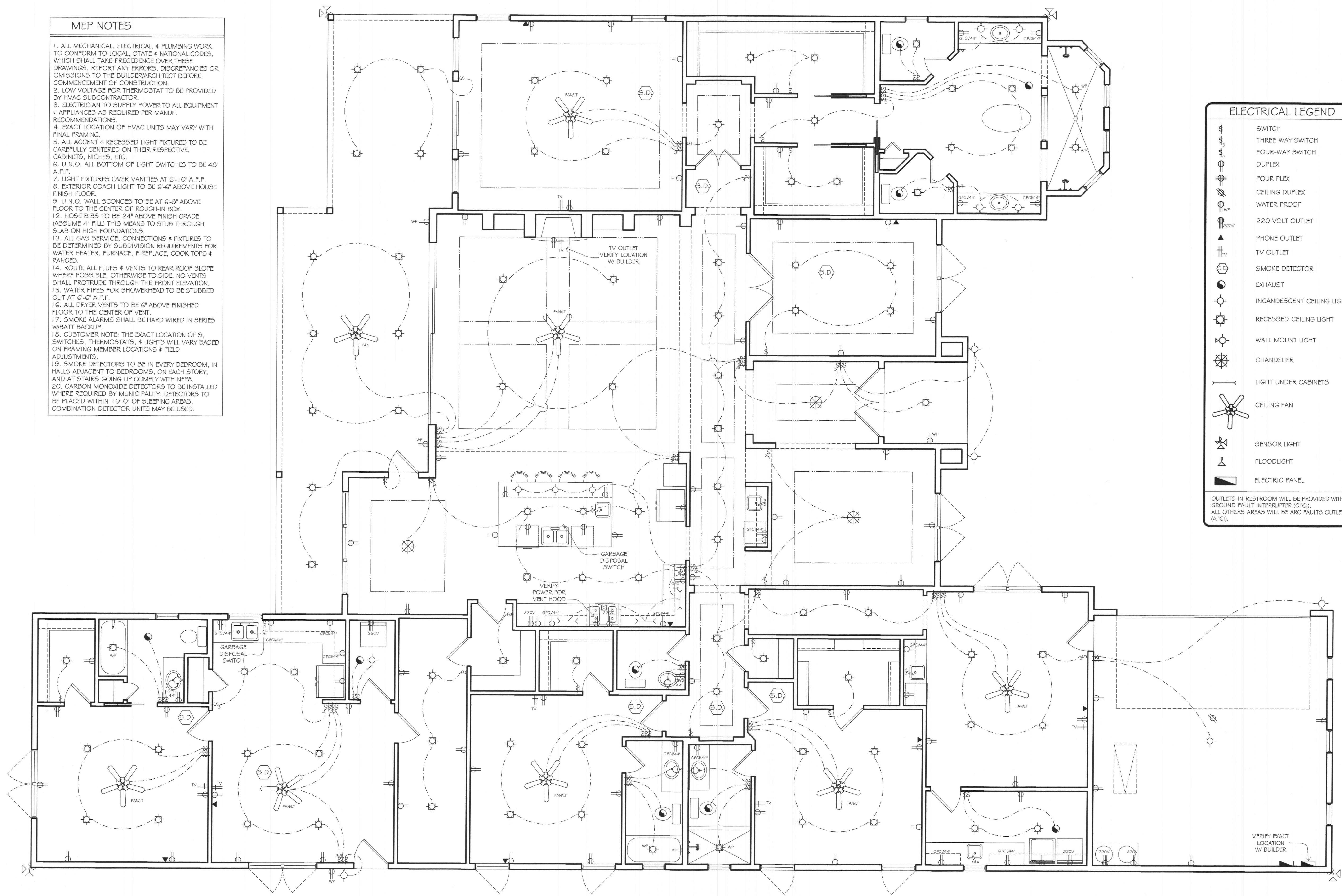
Scale
1/4" = 1'-0"

Sheet No.

E2.01

MEP NOTES

1. ALL MECHANICAL, ELECTRICAL, & PLUMBING WORK TO CONFORM TO LOCAL, STATE & NATIONAL CODES, WHICH SHALL TAKE PRECEDENCE OVER THESE DRAWINGS. REPORT ANY ERRORS, DISCREPANCIES OR OMISSIONS TO THE BUILDER/ARCHITECT BEFORE COMMENCEMENT OF CONSTRUCTION.
2. LOW VOLTAGE FOR THERMOSTAT TO BE PROVIDED BY HVAC SUBCONTRACTOR.
3. ELECTRICIAN TO SUPPLY POWER TO ALL EQUIPMENT & APPLIANCES AS REQUIRED PER MANUF. RECOMMENDATIONS.
4. EXACT LOCATION OF HVAC UNITS MAY VARY WITH FINAL FRAMING.
5. ALL ACCENT & RECESSED LIGHT FIXTURES TO BE CAREFULLY CENTERED ON THEIR RESPECTIVE CABINETS, NICHES, ETC.
6. U.N.O. ALL BOTTOM OF LIGHT SWITCHES TO BE 48" A.F.F.
7. LIGHT FIXTURES OVER VANITIES AT 6'-10" A.F.F.
8. EXTERIOR COACH LIGHT TO BE 6'-6" ABOVE HOUSE FINISH FLOOR.
9. U.N.O. WALL SCONCES TO BE AT 6'-8" ABOVE FLOOR TO THE CENTER OF ROUGH-IN BOX.
10. HOSE BIBS TO BE 24" ABOVE FINISH GRADE (ASSUME 4" FILL) THIS MEANS TO STUB THROUGH SLAB ON HIGH FOUNDATIONS.
11. ALL GAS SERVICE, CONNECTIONS & FIXTURES TO BE DETERMINED BY SUBDIVISION REQUIREMENTS FOR WATER HEATER, FURNACE, FIREPLACE, COOK TOPS & RANGES.
12. ROUTE ALL FLUES & VENTS TO REAR ROOF SLOPE WHERE POSSIBLE, OTHERWISE TO SIDE. NO VENTS SHALL PROTRUDE THROUGH THE FRONT ELEVATION.
13. WATER PIPES FOR SHOWERHEAD TO BE STUBBED OUT AT 6'-6" A.F.F.
14. ALL DRYER VENTS TO BE 6" ABOVE FINISHED FLOOR TO THE CENTER OF VENT.
15. SMOKE ALARMS SHALL BE HARD WIRED IN SERIES W/ BATT BACKUP.
16. CUSTOMER NOTE: THE EXACT LOCATION OF S, SWITCHES, THERMOSTATS, & LIGHTS WILL VARY BASED ON FRAMING MEMBER LOCATIONS & FIELD ADJUSTMENTS.
17. SMOKE DETECTORS TO BE IN EVERY BEDROOM, IN HALLS ADJACENT TO BEDROOMS, ON EACH STORY, AND AT STAIRS GOING UP COMPLY WITH NFPA.
18. CARBON MONOXIDE DETECTORS TO BE INSTALLED WHERE REQUIRED BY MUNICIPALITY. DETECTORS TO BE PLACED WITHIN 10'-0" OF SLEEPING AREAS. COMBINATION DETECTOR UNITS MAY BE USED.

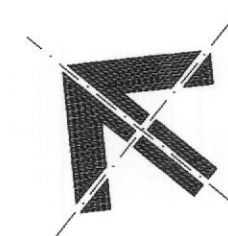


ELECTRICAL LEGEND

	SWITCH
	THREE-WAY SWITCH
	FOUR-WAY SWITCH
	DUPLEX
	FOUR PLEX
	CEILING DUPLEX
	WATER PROOF
	220 VOLT OUTLET
	PHONE OUTLET
	TV OUTLET
	SMOKE DETECTOR
	EXHAUST
	INCANDESCENT CEILING LIGHT
	RECESSED CEILING LIGHT
	WALL MOUNT LIGHT
	CHANDELIER
	LIGHT UNDER CABINETS
	CEILING FAN
	SENSOR LIGHT
	FLOODLIGHT
	ELECTRIC PANEL

OUTLETS IN RESTROOM WILL BE PROVIDED WITH GROUND FAULT INTERRUPTER (GFCI). ALL OTHERS AREAS WILL BE ARC FAULTS OUTLETS (AFCI).

North



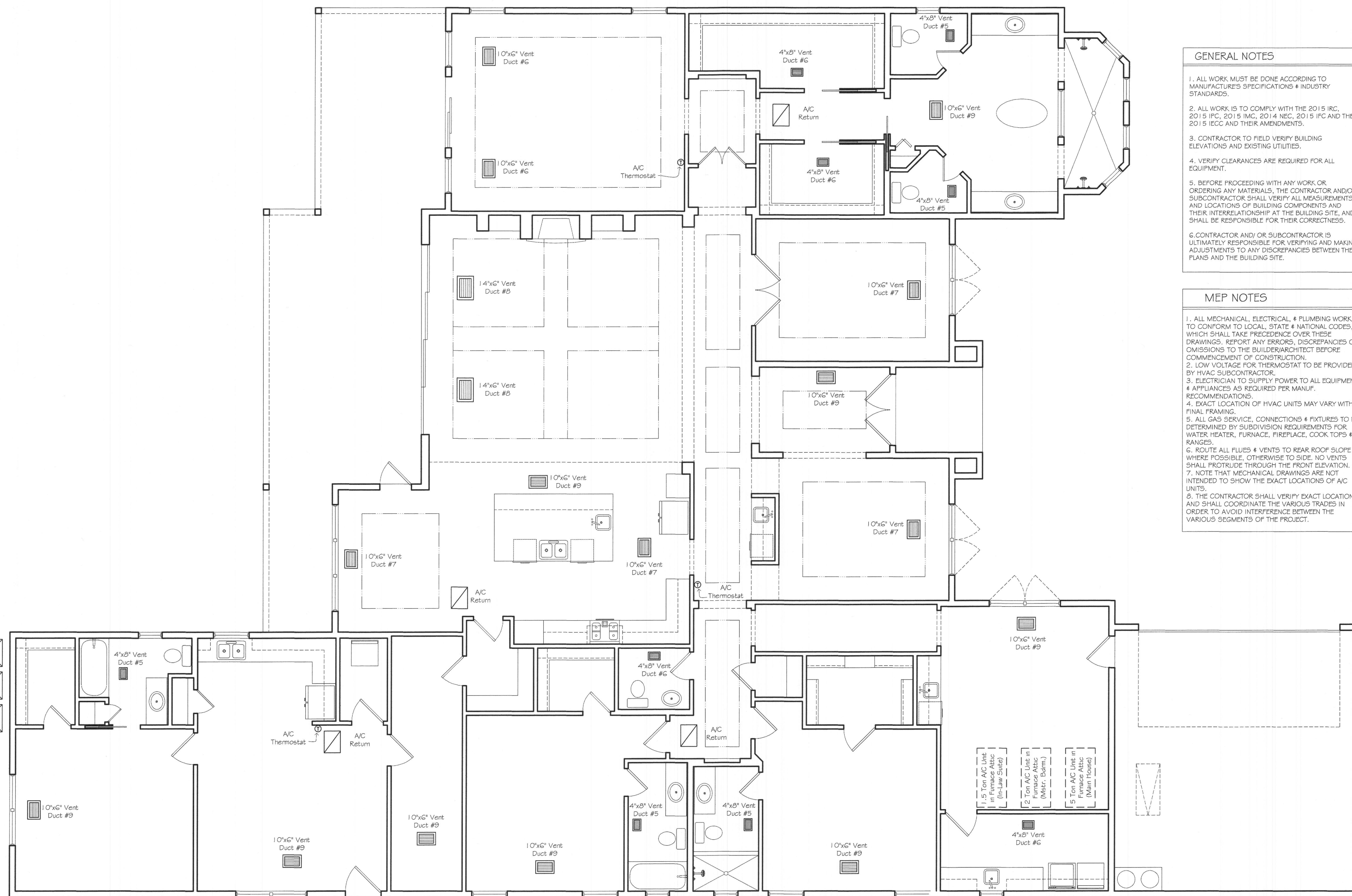
GENERAL NOTES

1. ALL WORK MUST BE DONE ACCORDING TO MANUFACTURER'S SPECIFICATIONS & INDUSTRY STANDARDS.
2. ALL WORK IS TO COMPLY WITH THE 2015 IRC, 2015 IPC, 2015 IMC, 2014 NEC, 2015 IFG AND THE 2015 IECC AND THEIR AMENDMENTS.
3. CONTRACTOR TO FIELD VERIFY BUILDING ELEVATIONS AND EXISTING UTILITIES.
4. VERIFY CLEARANCES ARE REQUIRED FOR ALL EQUIPMENT.
5. BEFORE PROCEEDING WITH ANY WORK OR ORDERING ANY MATERIALS, THE CONTRACTOR AND/OR SUBCONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND LOCATIONS OF BUILDING COMPONENTS AND THEIR INTERRELATIONSHIP AT THE BUILDING SITE, AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS.
6. CONTRACTOR AND/OR SUBCONTRACTOR IS ULTIMATELY RESPONSIBLE FOR VERIFYING AND MAKING ADJUSTMENTS TO ANY DISCREPANCIES BETWEEN THE PLANS AND THE BUILDING SITE.

MEP NOTES

1. ALL MECHANICAL, ELECTRICAL, & PLUMBING WORK TO CONFORM TO LOCAL, STATE & NATIONAL CODES, WHICH SHALL TAKE PRECEDENCE OVER THESE DRAWINGS. REPORT ANY ERRORS, DISCREPANCIES OR OMISSIONS TO THE BUILDER/ARCHITECT BEFORE COMMENCEMENT OF CONSTRUCTION.
2. LOW VOLTAGE FOR THERMOSTAT TO BE PROVIDED BY HVAC SUBCONTRACTOR.
3. ELECTRICIAN TO SUPPLY POWER TO ALL EQUIPMENT & APPLIANCES AS REQUIRED PER MANUF. RECOMMENDATIONS.
4. EXACT LOCATION OF HVAC UNITS MAY VARY WITH FINAL FRAMING.
5. ALL GAS SERVICE, CONNECTIONS & FIXTURES TO BE DETERMINED BY SUBDIVISION REQUIREMENTS FOR WATER HEATER, FURNACE, FIREPLACE, COOK TOPS & RANGES.
6. ROUTE ALL FLUES & VENTS TO REAR ROOF SLOPE WHERE POSSIBLE, OTHERWISE TO SIDE. NO VENTS SHALL PROTRUDE THROUGH THE FRONT ELEVATION.
7. NOTE THAT MECHANICAL DRAWINGS ARE NOT INTENDED TO SHOW THE EXACT LOCATIONS OF A/C UNITS.
8. THE CONTRACTOR SHALL VERIFY EXACT LOCATION AND SHALL COORDINATE THE VARIOUS TRADES IN ORDER TO AVOID INTERFERENCE BETWEEN THE VARIOUS SEGMENTS OF THE PROJECT.

- 1.5 Ton A/C
14 SEERS
Compressor
- 2 Ton A/C
14 SEERS
Compressor
- 5 Ton A/C
14 SEERS
Compressor



2825 MARCIE LANE
Block B Lot 17
Rockwall, Texas 75032

Date
JANUARY, 2021

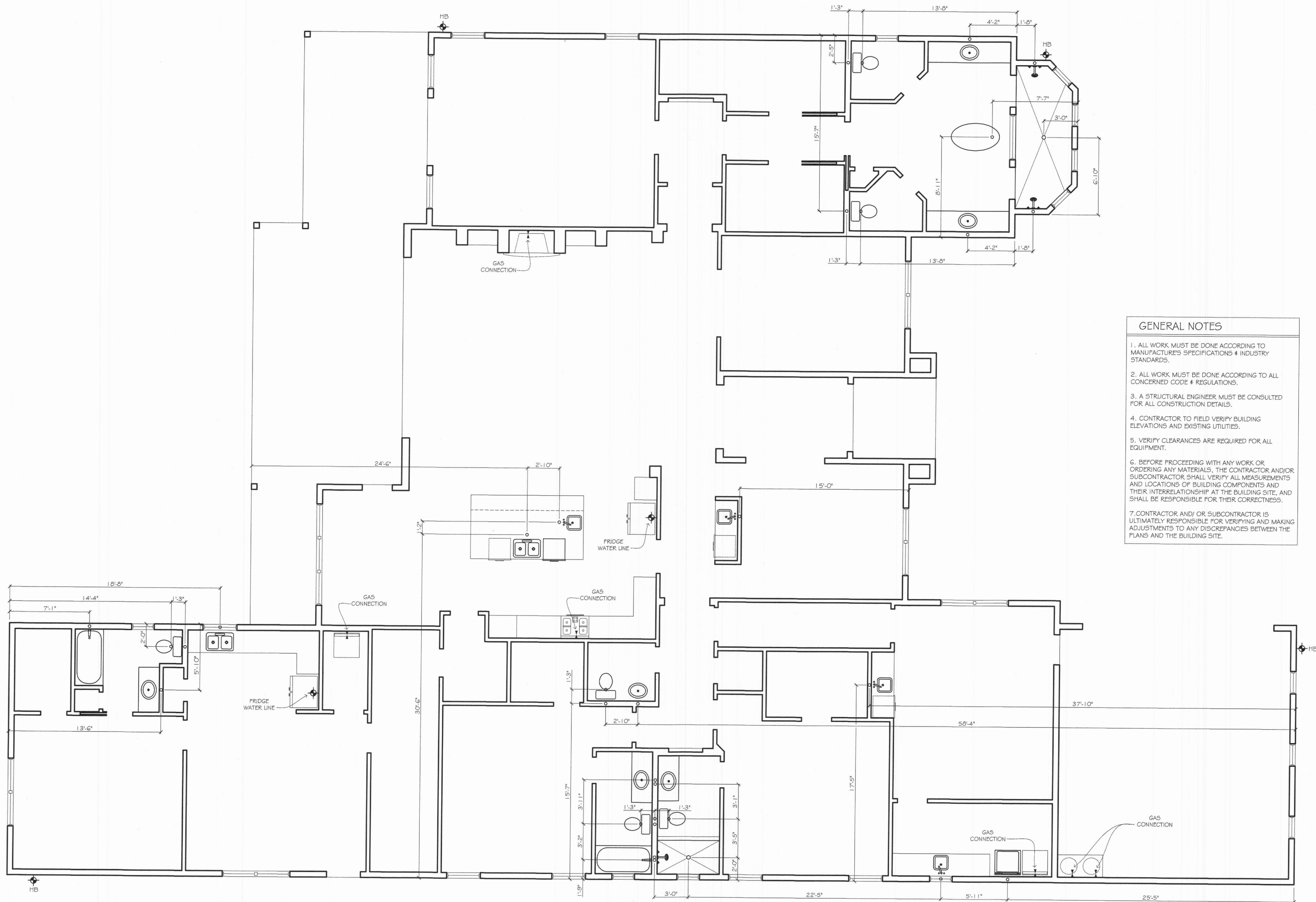
Sheet Title

MECHANICAL
PLAN

Scale
1/4" = 1'-0"

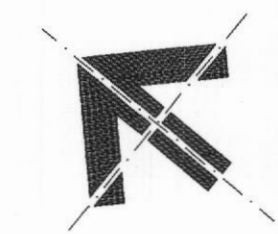
Sheet No.

M2.01



- GENERAL NOTES**
1. ALL WORK MUST BE DONE ACCORDING TO MANUFACTURER'S SPECIFICATIONS & INDUSTRY STANDARDS.
 2. ALL WORK MUST BE DONE ACCORDING TO ALL CONCERNED CODE & REGULATIONS.
 3. A STRUCTURAL ENGINEER, MUST BE CONSULTED FOR ALL CONSTRUCTION DETAILS.
 4. CONTRACTOR TO FIELD VERIFY BUILDING ELEVATIONS AND EXISTING UTILITIES.
 5. VERIFY CLEARANCES ARE REQUIRED FOR ALL EQUIPMENT.
 6. BEFORE PROCEEDING WITH ANY WORK OR ORDERING ANY MATERIALS, THE CONTRACTOR AND/OR SUBCONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND LOCATIONS OF BUILDING COMPONENTS AND THEIR INTERRELATIONSHIP AT THE BUILDING SITE, AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS.
 7. CONTRACTOR AND/OR SUBCONTRACTOR IS ULTIMATELY RESPONSIBLE FOR VERIFYING AND MAKING ADJUSTMENTS TO ANY DISCREPANCIES BETWEEN THE PLANS AND THE BUILDING SITE.

North



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION/DESIGN INFORMATION NECESSARY TO COMPLETE THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL MEASUREMENTS AND LOCATIONS OF BUILDING COMPONENTS AND THEIR INTERRELATIONSHIP AT THE BUILDING SITE, AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE LOCAL, STATE, AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND MAKING ADJUSTMENTS TO ANY DISCREPANCIES BETWEEN THE PLANS AND THE BUILDING SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE LOCAL, STATE, AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND MAKING ADJUSTMENTS TO ANY DISCREPANCIES BETWEEN THE PLANS AND THE BUILDING SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE LOCAL, STATE, AND FEDERAL AGENCIES.

2825 MARCIE LANE
 Block B Lot 17
 Rockwall, Texas 75032

Date
 JANUARY, 2021

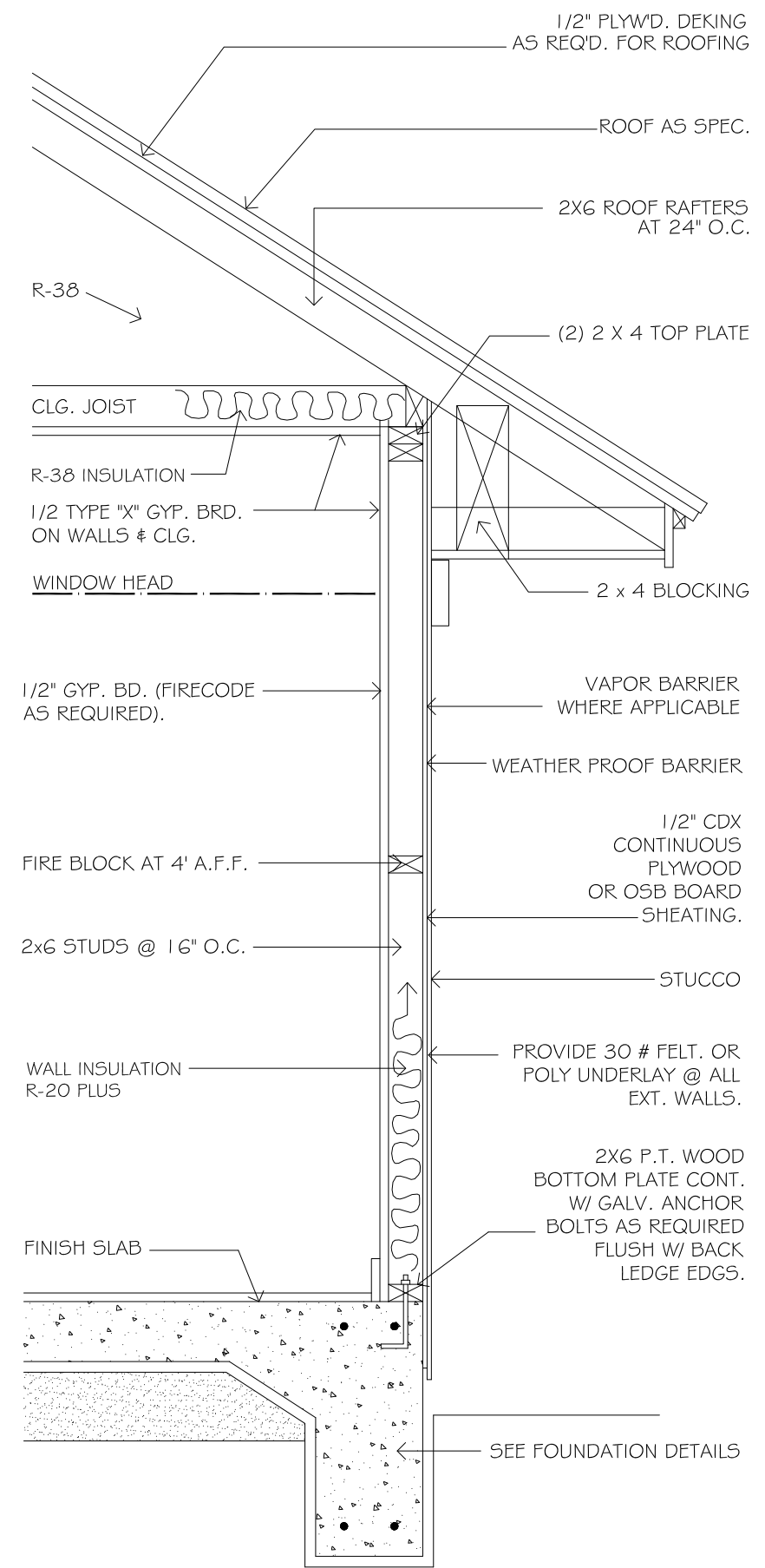
Sheet Title

PLUMBING PLAN

Scale
 1/4" = 1'-0"

Sheet No.

P2.01



North

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO COMPLETE THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING ALL APPLICABLE CITY, COUNTY, STATE AND NATIONAL CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL REQUIREMENTS AND FOR OBTAINING ALL NECESSARY PERMITS. A DISCREPANCY OCCUR BETWEEN THE PLANS AND LOCAL REQUIREMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.

2825 MARCIE LANE
Block B Lot 17
Rockwall, Texas 75032

Date
JANUARY, 2021

Sheet Title

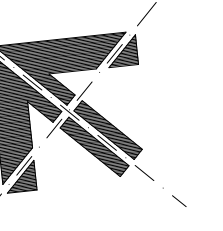
WALL SECTION

Scale
N.T.S.

Sheet No.

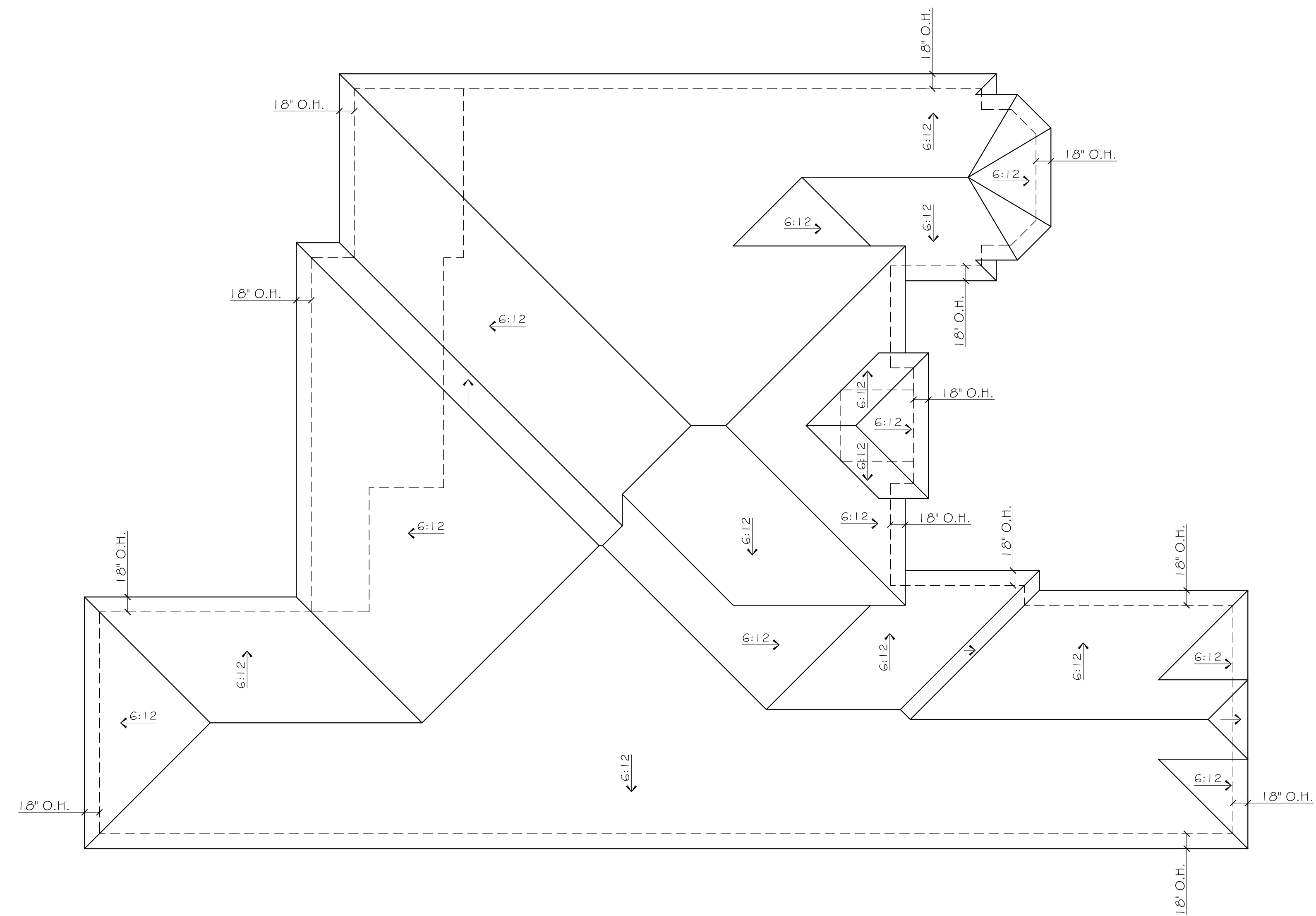
S2

North



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION/DESIGN INFORMATION NECESSARY TO COMPLETE THIS STRUCTURE. THE WORK, INCLUDING PLUMBING, MECHANICAL AND ELECTRICAL SHALL BE PERFORMED IN FULL COMPLIANCE WITH ALL APPLICABLE CITY, COUNTY, STATE AND NATIONAL CODES. LOCAL CODES, ORDINANCES, AND RESTRICTIONS WILL APPLY SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND LOCAL METHODS OF CONSTRUCTION AND ELECTION OF MATERIALS AND ASSEMBLIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

- GENERAL NOTES**
1. ALL WORK MUST BE DONE ACCORDING TO MANUFACTURER'S SPECIFICATIONS & INDUSTRY STANDARDS.
 2. ALL WORK IS TO COMPLY WITH THE 2015 IRC, 2015 IFC, 2015 IMC, 2014 NEC, 2015 IFC AND THE 2015 IECC AND THEIR AMENDMENTS.
 3. CONTRACTOR TO FIELD VERIFY BUILDING ELEVATIONS AND EXISTING UTILITIES.
 4. VERIFY CLEARANCES ARE REQUIRED FOR ALL EQUIPMENT.
 5. BEFORE PROCEEDING WITH ANY WORK OR ORDERING ANY MATERIALS, THE CONTRACTOR AND/OR SUBCONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND LOCATIONS OF BUILDING COMPONENTS AND THEIR INTERRELATIONSHIP AT THE BUILDING SITE, AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS.
 6. CONTRACTOR AND/ OR SUBCONTRACTOR IS ULTIMATELY RESPONSIBLE FOR VERIFYING AND MAKING ADJUSTMENTS TO ANY DISCREPANCIES BETWEEN THE PLANS AND THE BUILDING SITE.



ROOF PLAN

SCALE: 1/8" = 1'-0"

Date
JANUARY, 2021

Sheet Title

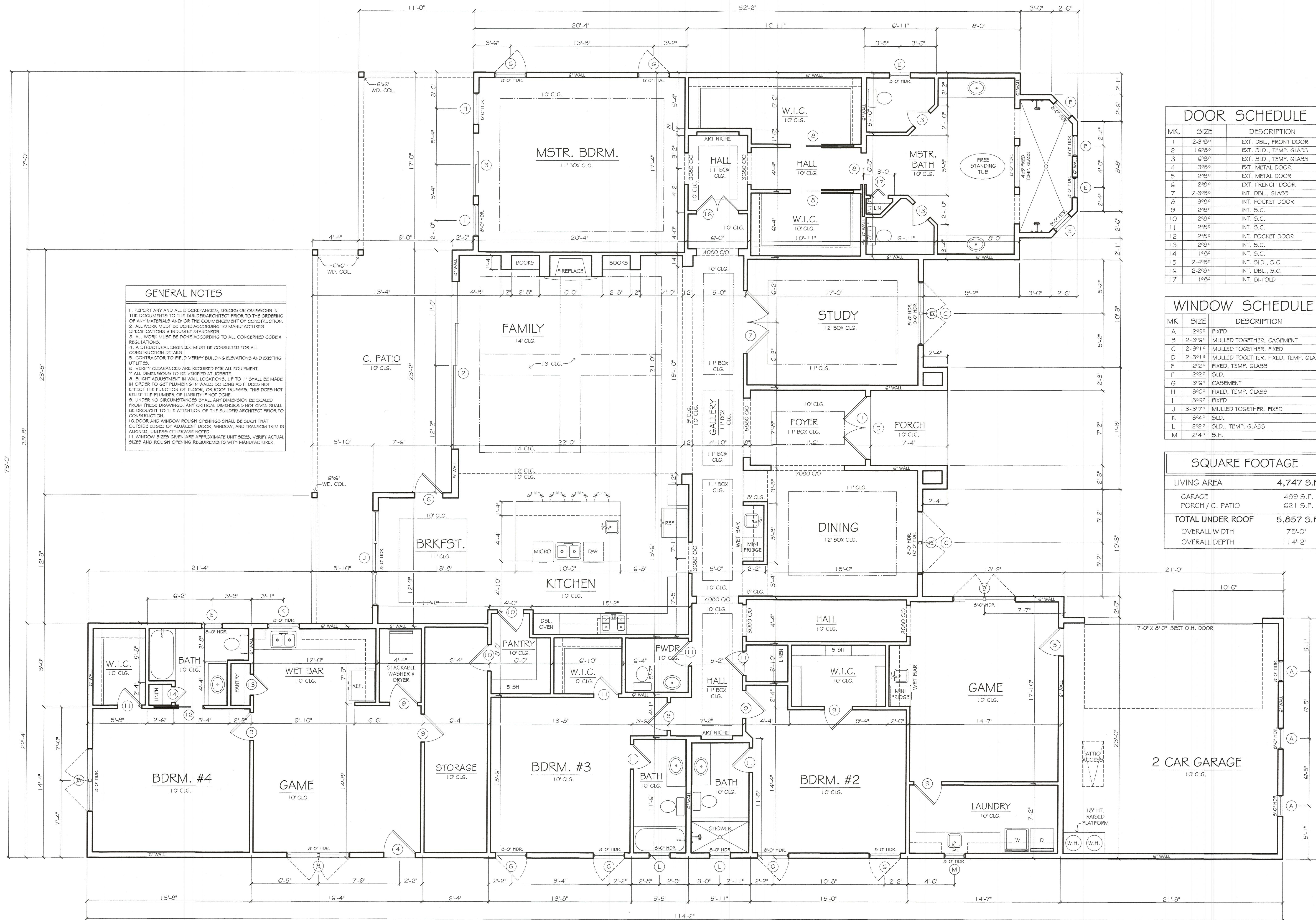
ROOF PLAN

Scale
1/8" = 1'-0"

Sheet No.

A1.01

2825 MARCIE LANE
Block B Lot 17
Rockwall, Texas 75032



GENERAL NOTES

1. REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS IN THE DOCUMENTS TO THE BUILDER/ARCHITECT PRIOR TO THE ORDERING OF ANY MATERIALS AND/OR THE COMMENCEMENT OF CONSTRUCTION.
2. ALL WORK MUST BE DONE ACCORDING TO MANUFACTURER'S SPECIFICATIONS & INDUSTRY STANDARDS.
3. ALL WORK MUST BE DONE ACCORDING TO ALL CONCERNED CODE & REGULATIONS.
4. A STRUCTURAL ENGINEER MUST BE CONSULTED FOR ALL CONSTRUCTION DETAILS.
5. CONTRACTOR TO FIELD VERIFY BUILDING ELEVATIONS AND EXISTING UTILITIES.
6. VERIFY CLEARANCES ARE REQUIRED FOR ALL EQUIPMENT.
7. ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
8. SLIGHT ADJUSTMENT IN WALL LOCATIONS, UP TO 1" SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS SO LONG AS IT DOES NOT EFFECT THE FUNCTION OF FLOOR, OR ROOF TRUSSES. THIS DOES NOT RELIEF THE PLUMBER OF LIABILITY IF NOT DONE.
9. UNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDER/ARCHITECT PRIOR TO CONSTRUCTION.
10. DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED, UNLESS OTHERWISE NOTED.
11. WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES, VERIFY ACTUAL SIZES AND ROUGH OPENING REQUIREMENTS WITH MANUFACTURER.

DOOR SCHEDULE

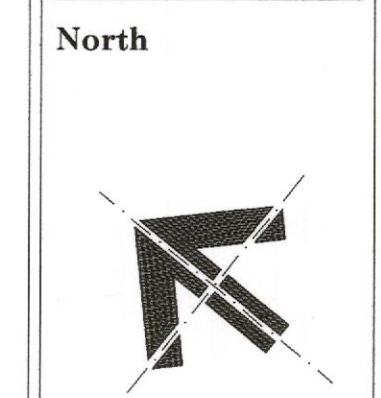
MK.	SIZE	DESCRIPTION
1	2'-3" x 8'-0"	EXT. DBL., FRONT DOOR
2	1'-6" x 8'-0"	EXT. SLD., TEMP. GLASS
3	6'-0" x 8'-0"	EXT. SLD., TEMP. GLASS
4	3'-0" x 8'-0"	EXT. METAL DOOR
5	2'-0" x 8'-0"	EXT. METAL DOOR
6	2'-0" x 8'-0"	EXT. FRENCH DOOR
7	2'-3" x 8'-0"	INT. DBL., GLASS
8	3'-0" x 8'-0"	INT. POCKET DOOR
9	2'-0" x 8'-0"	INT. S.C.
10	2'-0" x 8'-0"	INT. S.C.
11	2'-0" x 8'-0"	INT. S.C.
12	2'-0" x 8'-0"	INT. POCKET DOOR
13	2'-0" x 8'-0"	INT. S.C.
14	1'-0" x 8'-0"	INT. S.C.
15	2'-4" x 8'-0"	INT. SLD., S.C.
16	2'-2" x 8'-0"	INT. DBL., S.C.
17	1'-0" x 8'-0"	INT. BI-FOLD

WINDOW SCHEDULE

MK.	SIZE	DESCRIPTION
A	2'-0" x 6'-0"	FIXED
B	2'-3" x 6'-0"	MULLED TOGETHER, CASEMENT
C	2'-3" x 1'-4"	MULLED TOGETHER, FIXED
D	2'-3" x 1'-4"	MULLED TOGETHER, FIXED, TEMP. GLASS
E	2'-2" x 6'-0"	FIXED, TEMP. GLASS
F	2'-2" x 6'-0"	SLD.
G	3'-0" x 6'-0"	CASEMENT
H	3'-0" x 6'-0"	FIXED, TEMP. GLASS
I	3'-0" x 6'-0"	FIXED
J	3'-3" x 7'-0"	MULLED TOGETHER, FIXED
K	3'-4" x 6'-0"	SLD.
L	2'-2" x 6'-0"	SLD., TEMP. GLASS
M	2'-4" x 6'-0"	S.H.

SQUARE FOOTAGE

LIVING AREA	4,747 S.F.
GARAGE	489 S.F.
PORCH / C. PATIO	621 S.F.
TOTAL UNDER ROOF	5,857 S.F.
OVERALL WIDTH	75'-0"
OVERALL DEPTH	114'-2"



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION/DESIGN INFORMATION NECESSARY TO COMPLETE THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PORTIONS OF THE WORK, INCLUDING PLUMBING, MECHANICAL, AND ELECTRICAL, SHALL BE PERFORMED IN FULL COMPLIANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE BUILDER RESERVES THE RIGHT TO MODIFY THESE PLANS AS REQUIRED, WITHOUT NOTICE, TO CORRECT OMISSIONS, AND RESTRICTIONS WILL APPLY SHOULD DISCREPANCIES OCCUR BETWEEN THE PLANS AND LOCAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE BUILDER RESERVES THE RIGHT TO MODIFY THESE PLANS AS REQUIRED, WITHOUT NOTICE, TO CORRECT OMISSIONS, AND RESTRICTIONS WILL APPLY SHOULD DISCREPANCIES OCCUR BETWEEN THE PLANS AND LOCAL REQUIREMENTS.

2825 MARCIE LANE
 Block B Lot 17
 Rockwall, Texas 75032

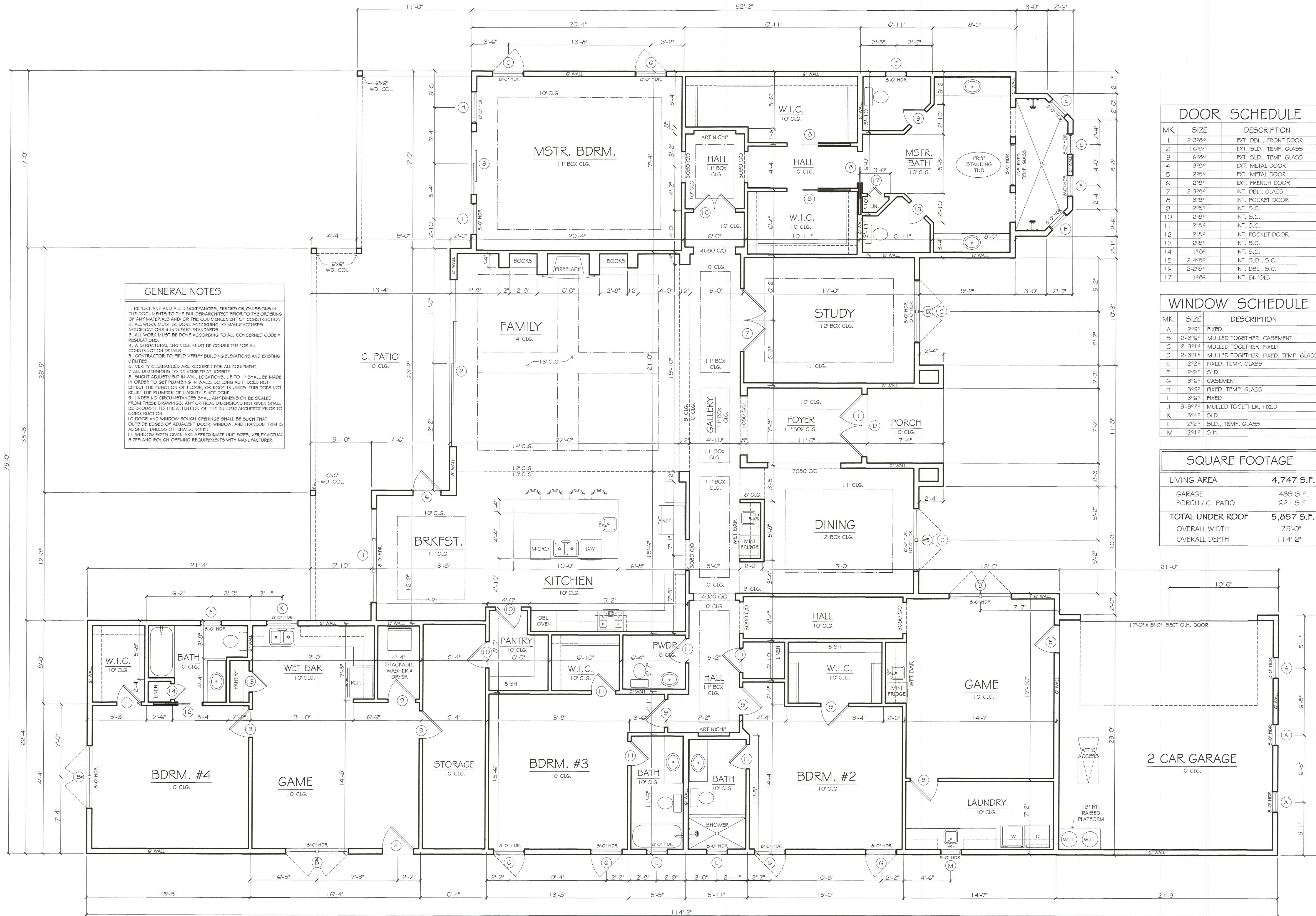
Date
 JANUARY, 2021

Sheet Title
 FLOOR PLAN

Scale
 1/4" = 1'-0"

Sheet No.

A1.00



GENERAL NOTES

1. REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS IN THE DOCUMENTS TO THE BUILDER/ARCHITECT PRIOR TO THE ORDERING OF ANY MATERIALS AND/OR THE COMMENCEMENT OF CONSTRUCTION.
2. ALL WORK MUST BE DONE ACCORDING TO MANUFACTURER'S SPECIFICATIONS & INDUSTRY STANDARDS.
3. ALL WORK MUST BE DONE ACCORDING TO ALL CONCERNED CODE & REGULATIONS.
4. A STRUCTURAL ENGINEER MUST BE CONSULTED FOR ALL CONSTRUCTION DETAILS.
5. CONTRACTOR TO FIELD VERIFY BUILDING ELEVATIONS AND EXISTING UTILITIES.
6. VERIFY CLEARANCES ARE REQUIRED FOR ALL EQUIPMENT.
7. ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
8. SLIGHT ADJUSTMENT IN WALL LOCATIONS, UP TO 1" SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS SO LONG AS IT DOES NOT AFFECT THE FUNCTION OF FLOOR OR ROOF TRUSSES. THIS DOES NOT RELIEVE THE PLUMBER OF LIABILITY IF NOT DONE.
9. UNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDER/ARCHITECT PRIOR TO CONSTRUCTION.
10. DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED, UNLESS OTHERWISE NOTED.
11. WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENING REQUIREMENTS WITH MANUFACTURER.

DOOR SCHEDULE

MK.	SIZE	DESCRIPTION
1	2-3'8"	EXT. DBL., FRONT DOOR
2	1'6"	EXT. SLD., TEMP. GLASS
3	6'8"	EXT. SLD., TEMP. GLASS
4	3'8"	EXT. METAL DOOR
5	2'8"	EXT. METAL DOOR
6	2'8"	EXT. FRENCH DOOR
7	2-3'8"	INT. DBL., GLASS
8	3'8"	INT. POCKET DOOR
9	2'8"	INT. S.C.
10	2'8"	INT. S.C.
11	2'8"	INT. S.C.
12	2'8"	INT. POCKET DOOR
13	2'8"	INT. S.C.
14	1'8"	INT. S.C.
15	2-4'8"	INT. SLD., S.C.
16	2-2'8"	INT. DBL., S.C.
17	1'8"	INT. BI-FOLD

WINDOW SCHEDULE

MK.	SIZE	DESCRIPTION
A	2'6"	FIXED
B	2-3'6"	MULLED TOGETHER, CASEMENT
C	2-3'1/4"	MULLED TOGETHER, FIXED
D	2-3'1/4"	MULLED TOGETHER, FIXED, TEMP. GLASS
E	2'2"	FIXED, TEMP. GLASS
F	2'2"	SLD.
G	3'6"	CASEMENT
H	3'6"	FIXED, TEMP. GLASS
I	3'6"	FIXED
J	3-3'7"	MULLED TOGETHER, FIXED
K	3'4"	SLD.
L	2'2"	SLD., TEMP. GLASS
M	2'4"	S.H.

SQUARE FOOTAGE

LIVING AREA	4,747 S.F.
GARAGE	489 S.F.
PORCH / C. PATIO	621 S.F.
TOTAL UNDER ROOF	5,857 S.F.
OVERALL WIDTH	75'-0"
OVERALL DEPTH	114'-2"

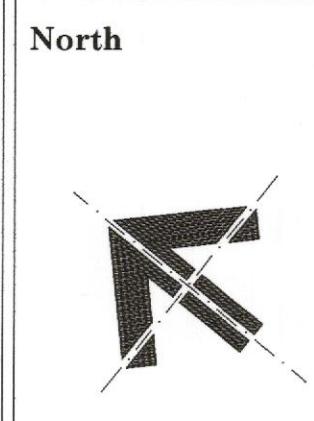
2825 MARCIE LANE
Block B Lot 17
Rockwall, Texas 75032

Date
JANUARY, 2021

Sheet Title
FLOOR PLAN

Scale
1/4" = 1'-0"

Sheet No.
A1.00



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION DESIGN INFORMATION NECESSARY TO COMPLETE THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING ALL LOCAL, STATE, AND FEDERAL REGULATIONS, ORDINANCES, AND RESTRICTIONS WILL APPLY TO THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL LOCAL, STATE, AND FEDERAL REGULATIONS, ORDINANCES, AND RESTRICTIONS WILL APPLY TO THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL LOCAL, STATE, AND FEDERAL REGULATIONS, ORDINANCES, AND RESTRICTIONS WILL APPLY TO THIS PROJECT.

Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
1523 Parkside Circle	Single-Family Home	2002	3,377	N/A	Brick
1531 Parkside Circle	Single-Family Home	2001	3,728	N/A	Brick
1534 Parkside Circle	Single-Family Home	2001	2,913	N/A	Brick
1539 Parkside Circle	Single-Family Home	2002	2,760	N/A	Brick
1546 Parkside Circle	Single-Family Home	2001	3,963	N/A	Brick
1547 Parkside Circle	Single-Family Home	2001	3,581	N/A	Brick
1555 Parkside Circle	Single-Family Home	2000	3,983	N/A	Brick
1556 Parkside Circle	Single-Family Home	2000	3,533	314	Brick
2804 Marcie Lane	Single-Family Home	2002	3,618	N/A	Brick
2805 Marcie Lane	Single-Family Home	2005	2,922	N/A	Brick
2814 Marcie Lane	Single-Family Home	2002	3,566	N/A	Brick
2815 Marcie Lane	Single-Family Home	2018	2,713	N/A	Brick
2822 Marcie Lane	Single-Family Home	2002	2,983	N/A	Brick
2825 Marcie Lane	RCAD Indicates Vacant		Subject Property		
2830 Marcie Lane	Single-Family Home	2002	3,839	356	Stone
2835 Marcie Lane	Single-Family Home	2005	4,055	N/A	Stucco
2838 Marcie Lane	Single-Family Home	2001	2,762	N/A	Brick
2846 Marcie Lane	Single-Family Home	2001	3,758	100	Brick
2854 Marcie Lane	Single-Family Home	1997	2,833	N/A	Brick
2862 Marcie Lane	Single-Family Home	2002	4,026	N/A	Brick
2870 Marcie Lane	Single-Family Home	2000	4,268	100	Brick
2880 Marcie Lane	Single-Family Home	1999	3,327	N/A	Brick
2730 Mira Vista Lane	Single-Family Home	2004	3,498	N/A	Stucco
2738 Mira Vista Lane	Single-Family Home	2011	3,646	N/A	Stone
2748 Mira Vista Lane	Single-Family Home	2003	3,902	N/A	Brick
2756 Mira Vista Lane	Single-Family Home	2002	3,724	N/A	Brick

Averages: 2003 3,491 218



1523 Parkside Circle



1531 Parkside Circle



1534 Parkside Circle



1539 Parkside Circle



1546 Parkside Circle



1547 Parkside Circle



1555 Parkside Circle



1556 Parkside Circle



2730 Mira Vista Lane



2738 Mira Vista Lane



2748 Mira Vista Lane



2756 Mira Vista Lane



2804 Marcie Lane



2805 Marcie Lane



2814 Marcie Lane



2815 Marcie Lane



2822 Marcie Lane



2830 Marcie Lane



2835 Marcie Lane



2838 Marcie Lane



2846 Marcie Lane



2854 Marcie Lane



2862 Marcie Lane



2870 Marcie Lane



2880 Marcie Lane

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.50-ACRE TRACT OF LAND, IDENTIFIED AS LOT 17, BLOCK B, LAGO VISTA ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Otoniel Jaramillo for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.50-acre tract of land being described as Lot 17, Block B, Lago Vista Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 18 (PD-18) District for Single-Family 10 (SF-10) District land uses, addressed as 2825 Marcie Lane, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development

District 18 (PD-18) -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 1TH DAY OF MARCH, 2021.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: February 16, 2021

2nd Reading: March 1, 2021

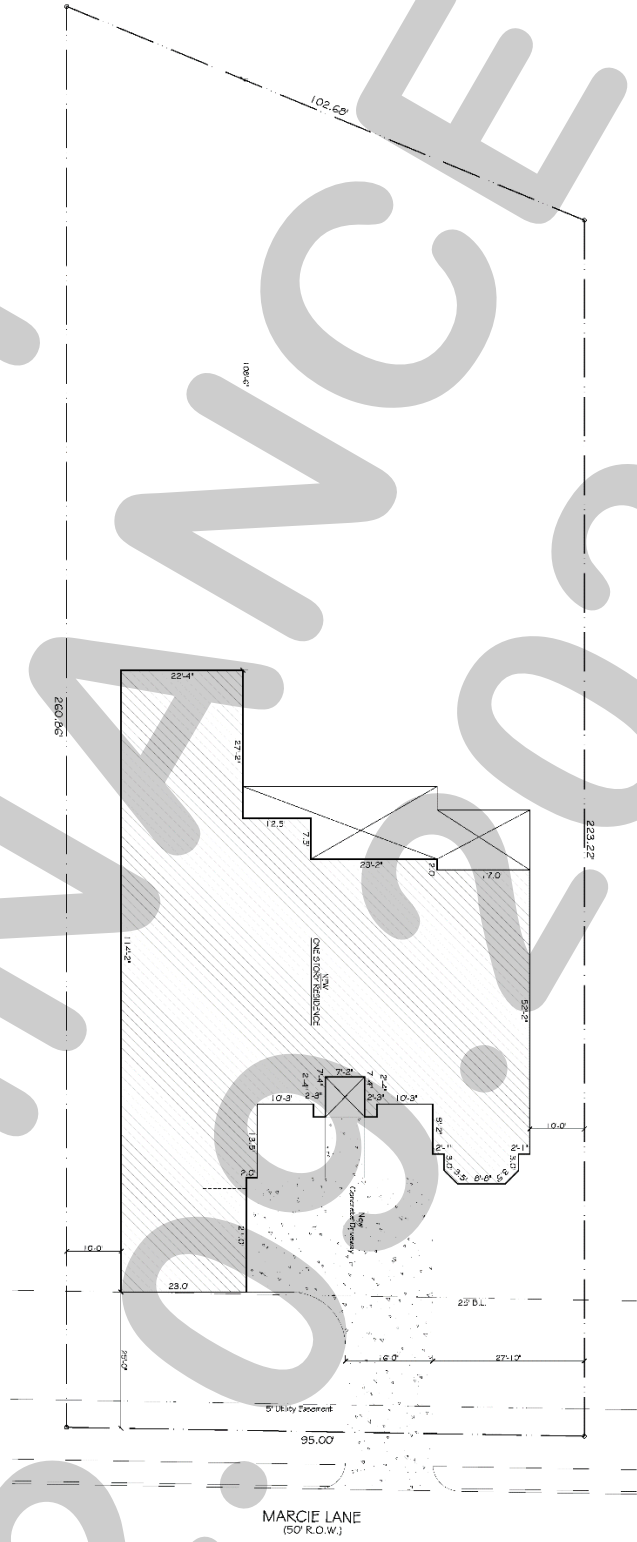
Exhibit 'A'
Location Map and Survey

Address: 2825 Marcie Lane

Legal Description: Lot 17, Block B, Lago Vista Addition



**Exhibit 'B':
Residential Plot Plan**



GENERAL NOTES	
1.	ALL WORK SHALL BE DONE ACCORDING TO THE CITY OF ROCKWALL STANDARD SPECIFICATIONS FOR ROAD AND UTILITY CONSTRUCTION.
2.	ALL UTILITIES SHALL BE DEPTH MARKED AND PROTECTED.
3.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
4.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
5.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
6.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
7.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
8.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
9.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
10.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
11.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
12.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
13.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
14.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
15.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
16.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
17.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
18.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
19.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
20.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
21.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
22.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
23.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
24.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
25.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
26.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
27.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
28.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
29.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
30.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
31.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
32.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
33.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
34.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
35.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
36.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
37.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
38.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
39.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
40.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
41.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
42.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
43.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
44.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
45.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
46.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
47.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
48.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
49.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
50.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
51.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
52.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
53.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
54.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
55.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
56.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
57.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
58.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
59.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
60.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
61.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
62.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
63.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
64.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
65.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
66.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
67.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
68.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
69.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
70.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
71.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
72.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
73.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
74.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
75.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
76.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
77.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
78.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
79.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
80.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
81.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
82.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
83.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
84.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
85.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
86.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
87.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
88.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
89.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
90.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
91.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
92.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
93.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
94.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
95.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
96.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
97.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
98.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
99.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
100.	ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.

Scale
1" = 10'-0"

Sheet No.
A0.00

Date
JANUARY 2021

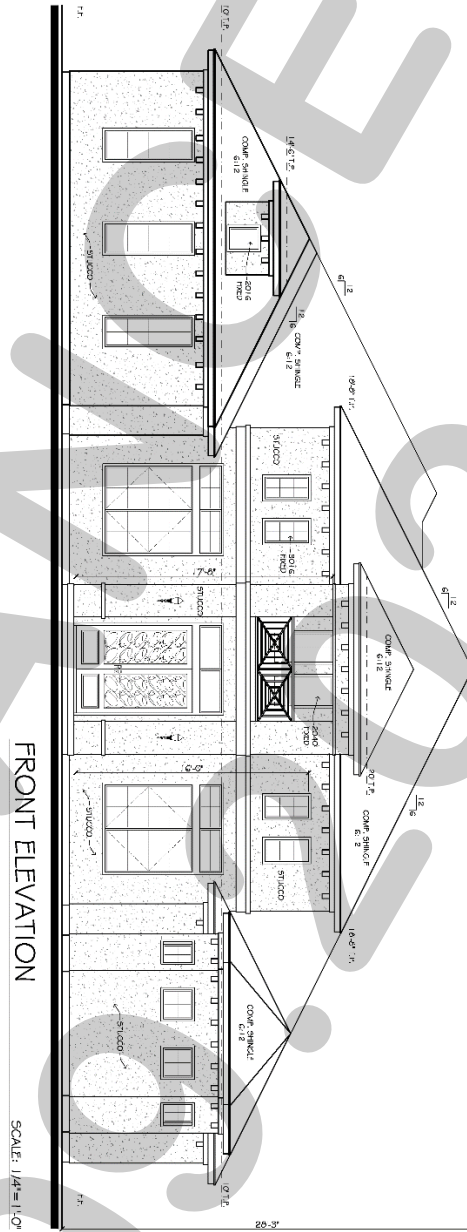
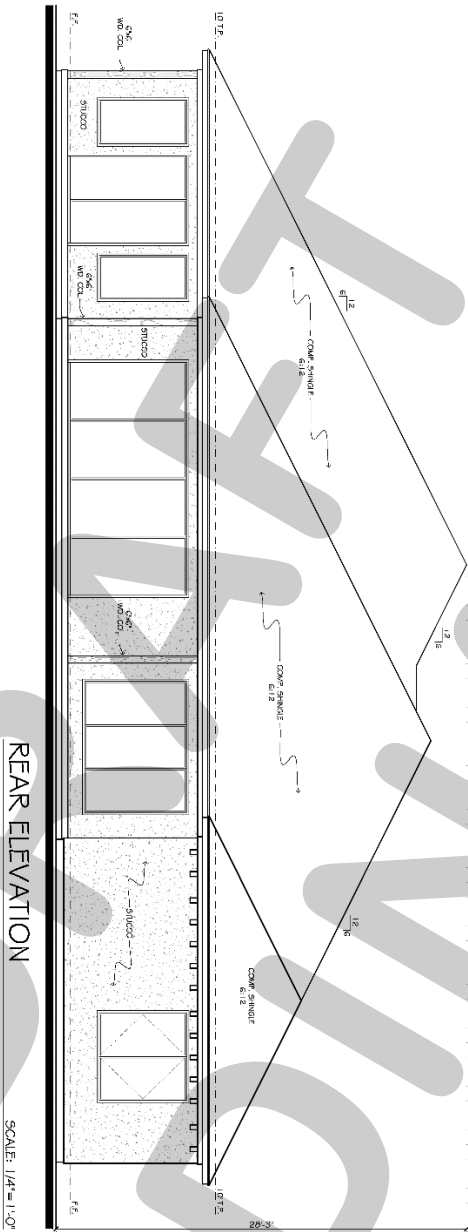
Sheet Title
SITE PLAN

2825 MARCIE LANE
Block B Lot 17
Rockwall, Texas 75032

THIS PLAN IS THE PROPERTY OF THE CITY OF ROCKWALL, TEXAS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE CITY OF ROCKWALL, TEXAS. THE CITY OF ROCKWALL, TEXAS, ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS PLAN. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CITY OF ROCKWALL, TEXAS, DOES NOT WARRANT THE ACCURACY OR COMPLETENESS OF THIS PLAN. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CITY OF ROCKWALL, TEXAS, DOES NOT WARRANT THE ACCURACY OR COMPLETENESS OF THIS PLAN.



**Exhibit 'C':
Building Elevations**



A2.00

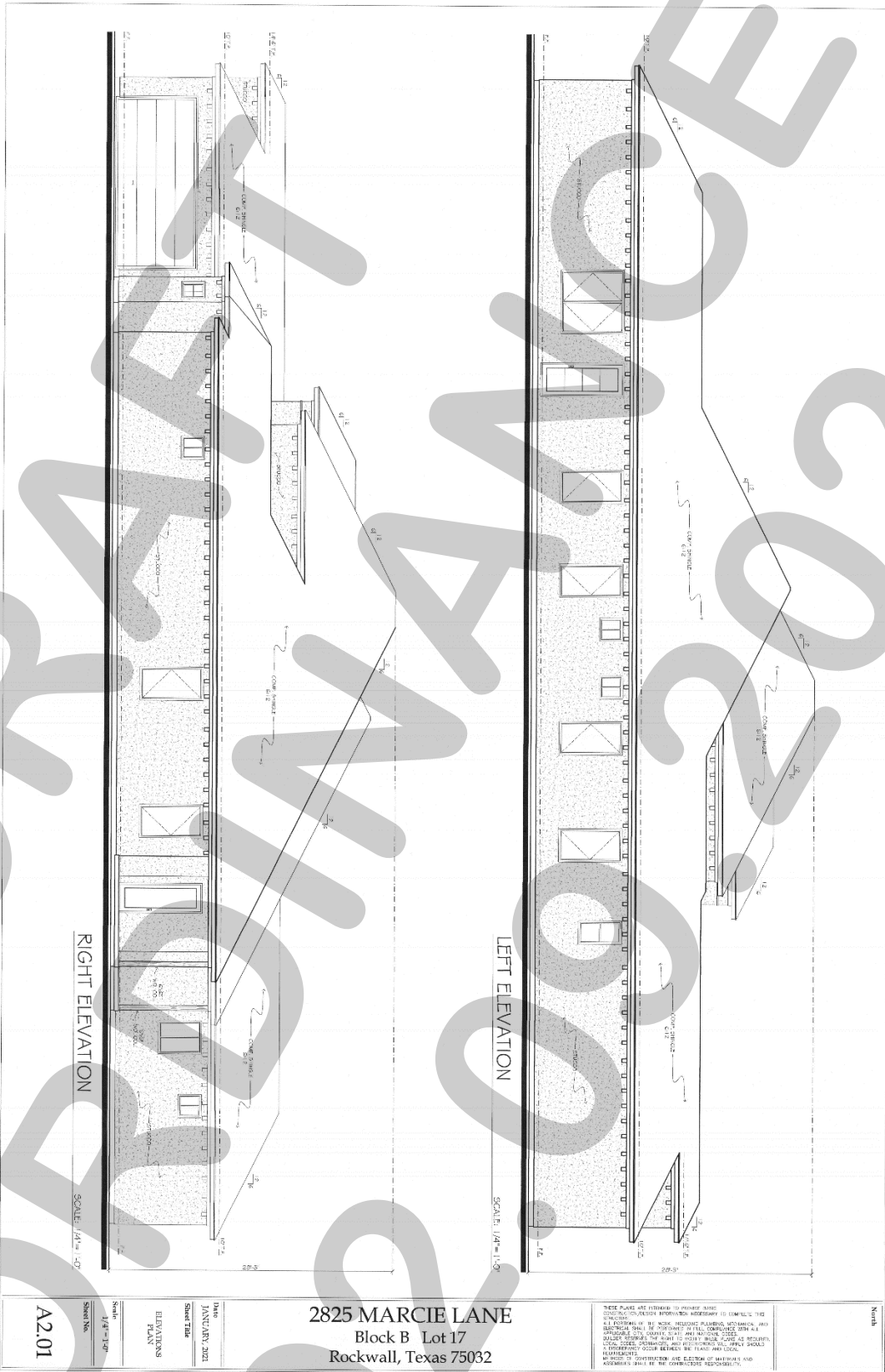
Sheet No.	A2.00
Scale	1/4" = 1'-0"
Sheet Title	ELEVATIONS PLAN
Date	JANUARY, 2021

2825 MARCIE LANE
Block B Lot 17
Rockwall, Texas 75032

THESE PLANS ARE PREPARED TO PROVIDE BASIC INFORMATION NECESSARY TO COMPLETE THIS STRUCTURE. ALL WORK, INCLUDING PLUMBING, MECHANICAL AND ELECTRICAL, SHALL BE PERFORMED IN FULL COMPLIANCE WITH ALL APPLICABLE CITY, COUNTY, STATE AND NATIONAL CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING ALL LOCAL REQUIREMENTS. A DISCREPANCY OCCURS BETWEEN THE PLANS AND LOCAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL LOCAL REQUIREMENTS AND ASSUMES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

North

**Exhibit 'C':
Building Elevations**



A2.01

Sheet No.

Scale: 1/4" = 1'-0"

DATE: JANUARY 2021

SHEET TITLE: ELEVATIONS PLAN

PROJECT: 2825 MARCIE LANE

2825 MARCIE LANE
Block B Lot 17
Rockwall, Texas 75032

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO CONSTRUCT THE BUILDING. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE ARCHITECT SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION DETAILS AND MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

North



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: February 9, 2021

APPLICANT: Lisa White; *Boing US HoldCo, Inc.*

CASE NUMBER: Z2021-002; *Specific Use Permit (SUP) for Self-Service Carwash at 3611 N. Goliad Street*

SUMMARY

Hold a public hearing to discuss and consider a request by Lisa White of Boing US HoldCo, Inc. on behalf of Donald L. Silverman of Rockwall 205-552, LLC for the approval of a Specific Use Permit (SUP) for *Self-Service Carwash and Auto Detail* on a 0.89-acre tract of land identified as a portion of Lot 2, Block A, Dalton Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3611 N. Goliad Street [*SH-205*], and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on November 7, 1983 by *Ordinance No. 83-57*. Based on the City's historic zoning maps the subject property was rezoned from an Agricultural (AG) District to a General Retail (GR) District at some point between November 7, 1983 and December 7, 1993. On February 15, 2016, the City Council approved a preliminary plat [*Case No. P2016-004*] for Lots 1-6, Block A, Dalton Goliad Addition. This approval was followed by a final plat [*Case No. P2016-034*], which was approved by the City Council on August 1, 2016. This final plat created Lots 1-3, Block A, Dalton Goliad Addition. On December 4, 2017, the City Council approved a replat [*i.e. Case No. P2017-062*] subdividing Lot 2, Block A into Lots 4 & 5, Block A and establishing the subject property (*i.e. Lot 4, Block A, Dalton Goliad Addition*); however, this replat was never filed. Prior to the replat, a Specific Use Permit (SUP) [*SUP #S-171; Ordinance No. 17-39; Case No. Z2017-029*] was approved by the City Council on August 7, 2017. This approval allowed a *Restaurant, Greater Than 2,000 SF with a Drive-Through or Drive-In (i.e. Freddy's Frozen Custard)* on the subject property. On September 12, 2017, the Planning and Zoning Commission approved a site plan [*Case No. SP2017-024*] for the proposed restaurant; however, the restaurant was never constructed, and the site plan and Specific Use Permit (SUP) have since expired. On December 7, 2020, the City Council approved a conveyance plat [*i.e. Case No. P2020-048*] for the purpose of subdividing one (1) lot (*i.e. Lot 2, Block A, Dalton Goliad Addition*) into four (4) lots (*i.e. Lots 4-7, Block A, Dalton Goliad Addition*) to convey property. This conveyance plat established the subject property as Lot 5, Block A, Dalton Goliad Addition. The subject property is currently vacant.

PURPOSE

The applicant, is requesting the approval of a Specific Use Permit (SUP) to allow for a *Self-Service Carwash* on the subject property in accordance with the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 3611 N. Goliad Street [*SH-205*]. The land uses adjacent to the subject property are as follows:

North: Directly north and adjacent to the subject property is a vacant 1.033-acre parcel of land (*i.e. Lot 4, Block A, Dalton Goliad Addition*). Beyond this is a single-family residential subdivision, consisting of 30 single-family residential lots, and being identified as Harlan Park, Phase 2 Addition. Beyond this is Harlan Park, Phase 1 Addition, which consists of 65 single-family residential lots. Both of these subdivisions are zoned Single-Family 10 (SF-10) District.

South: Directly south of the subject property are Lots 1, 3, & 6, Block A, Dalton Goliad Addition. Lot 3 is currently occupied by a strip retail center with several tenants (i.e. Marco's Pizza, Hittson Dental, and Venice Nail Salon). Adjacent to and south of the strip center is Lot 1, which is occupied with an Aldi's Grocery Store. These properties are zoned General Retail (GR) District. South of this is Dalton Road, which is identified as a M4U (i.e. major collector, four [4] lane, undivided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the Free Methodist Church, which is zoned Single-Family 16 (SF-16) District.

East: Directly east of the subject property is N. Goliad Street [SH-205], which is identified as a M4D (i.e. major collector, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the corporate limits of the City followed by properties in the City's Extraterritorial Jurisdiction (ETJ) that have existing single-family homes situated on them. Adjacent to and south of this area is a Sonic Drive-In and 7-Eleven convenience store, which are situated within the City limits and are zoned General Retail (GR) District.

West: Directly west of the subject property is a vacant 2.402-acre parcel of land (i.e. Lot 6, Block A, Dalton Goliad Addition). This property is zoned General Retail (GR) District. Beyond this is the Nebbie Williams Elementary School, which is situated on a 11.599-acre parcel of land (i.e. Lot 1, Block A, Rockwall School North Addition). This property is zoned Single-Family 10 (SF-10) District.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application, concept plan, and building elevations depicting the layout of a ~4,164 SF *Self-Service Carwash*. The proposed carwash will consist of a single entrance tunnel, 15 vacuum stalls, and ten (10) parking spaces. Based on the concept plan, the carwash tunnel will be oriented so that the exit of the tunnel will be facing onto N. Goliad Street, with the building being setback ~101-feet from the public right-of-way. Staff should point out that the carwash will be located within 300-feet of both the Harlan Park Subdivision and Nebbie Williams Elementary School. Based on this staff is requesting that the applicant provide additional landscaping for sound attenuation. These have been included in the draft ordinance as operational conditions should the SUP be approved. The landscaping for the subject property will be considered at the time of site plan.

CONFORMANCE TO THE CITY'S CODES

According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) a *Self Service Car Wash* requires a Specific Use Permit (SUP) in the General Retail (GR) District. In addition, Subsection 02.03.(H)(4), *Conditional Land Use Standards*, of Article 04, *Permissible Use Charts*, of the Unified Development Code (UDC) also provides the following requirements relating to regulating the land use:

- (a) Entrances and exits to the car wash shall not directly face any public right-of-way.
- (b) The carwash shall be set back a minimum of 50-feet from any street frontage.

In this case, the submitted concept plan indicates the exit of the carwash tunnel will be directly facing N. Goliad Street, which is not in compliance with the land use conditions required for this land use in the Unified Development Code (UDC). Staff should point out that a similar orientation for a *full-service carwash* was approved by the Planning and Zoning Commission along N. Goliad Street; however, staff is should note that in that case the proposed carwash was [1] situated in a Commercial (C) District with no adjacent residentially zoned or used land, [2] primarily situated behind a standalone structure that served as the point of sale, and [3] that incorporated heavy screening along the SH-205 frontage. In this case, no mitigating measures are being proposed. In addition, staff should point out that due to existing easements along SH-205, increased landscape screening cannot be provided in front of the tunnel in the landscape buffer.

According to Subsection 01.06(A), *Residential Adjacency Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he general objectives of residential adjacency standards are to preserve and protect the integrity, enjoyment and property values of residential neighborhoods within the City of Rockwall, through the establishment of standards for certain nonresidential uses that may impact surrounding residential land uses." This section goes on to state that the residential adjacency standards are to be applied to a carwash when it is adjacent to or within 150-feet of a residential district boundary. In this case, the applicant replatted the property (i.e. Case No. P2020-048) so that the carwash is more than 150-

feet from the adjacent residential zoning districts (*i.e.* ~152-feet from the Harlan Park Subdivision and ~173-feet from Nebbie Williams Elementary School); however, Subsection 01.06(D)(6)(a) this section of the Unified Development Code (UDC) grants the Planning and Zoning Commission the ability to require wing walls, landscape screens, changes in building orientation, and/or other design elements to screen and minimize the impact of the proposed land use. Although the subject property is in compliance with the 150-foot distance requirement, staff has requested that the applicant provide additional landscape screening adjacent to the northern and western property lines to provide screening and sound attenuation. Staff should also point out that the applicant has provided staff a noise assessment for the carwash and vacuum bays. With this being said, the determination of if the landscaping is sufficient screening/sound attenuation remains a discretionary decision for the Planning and Zoning Commission and City Council.

With the exception of these items the concept plan appears to meet the design requirements for the General Retail (GR) District. Staff should note that the submitted building elevations do not appear to meet the minimum standards of the N. SH-205 Overlay (N. SH-205 OV) District and will need to be reviewed by the Architectural Review Board (ARB) and Planning and Zoning Commission at the time of site plan.

STAFF ANALYSIS

The intent of the General Retail (GR) District is to provide limited retail and service uses for nearby residential neighborhoods. Development in these areas should not include intensive commercial land uses that carry large volumes of retail traffic. Developments should also be adequately buffered and screened from residential land uses. Since the General Retail (GR) District is located close to residential areas, the development standards are typically more stringent and similar to the Residential-Office (RO) and Neighborhood Services (NS) Districts. All of these districts are intended to create a transition from the adjacent residential neighborhoods to less intense non-residential land uses. According to the *ITE Trip Generation Rates (9th Edition)* a carwash carries around 108 weekday trips, which makes it a medium to low traffic generator; however staff should point out that -- *with the exception of one (1) self-service car wash that was built in 1992 according to the Rockwall Central Appraisal District* -- no other carwashes (*self-service or full-service*) have been constructed in a General Retail (GR) District. The four (4) standalone carwashes (*i.e. Horizon Car Wash, Hacienda Car Wash, Speedy Bee Car Wash, and Carmel Car Wash*) are all located within a Commercial (C) District, which allows both a self-service and full-service carwash *by-right*. With all of this being said, any request for a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On January 22, 2021, staff mailed 92 notices to property owners and residents within 500-feet of the subject property. Staff also notified the Castle Ridge, Harlan Park, and Rockwall Shores Homeowner's Association (HOA), which are the only Homeowner's Associations (HOA's)/Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received the following:

- (1) Two (2) property owner notifications from property owners within the notification area (*i.e. within the 500-foot buffer*) opposed to the applicant's request.
- (2) Two (2) online *Zoning & Specific Use Permit Input Form* from property owners within the Homeowner's Association (HOA) notification area (*i.e. within the 1,500-foot buffer*) opposed to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for a *Self-Service Carwash* on the subject property, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The *Self-Service Carwash* facility shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* and the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance;

- (b) No outside display of merchandise or outside storage (*e.g. ice machine, propane cage, vending machines, and DVD rental kiosk*) shall be allowed on the *subject property*; with the exception of vending machines that are integrated into the façade of the building.
 - (c) Additional landscaping (*i.e. trees and shrubs*) shall be required adjacent to the vacuum bays to provide additional sound attenuation for the residential subdivision north of the *subject property*; and
 - (d) The exit tunnel of the *Self-Service Carwash* facility shall be screened from N. Goliad Street [*i.e. SH-205*] utilizing landscape screening (*e.g. trees, pampas grass, etc.*) and a berm; and,
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre) ¹
- Preliminary Plat (\$200.00 + \$15.00 Acre) ¹
- Final Plat (\$300.00 + \$20.00 Acre) ¹
- Replat (\$300.00 + \$20.00 Acre) ¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre) ¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre) ¹
- Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
- PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹ In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address: To Be Determined

Subdivision: Dalton Goliad Addition Lot: 2 Block: A

General Location: NW Corner of Dalton RD and N Goliad Street (Lot North of Existing Development)

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning: General Retail (SH205 Overlay) Current Use: Vacant

Proposed Zoning: General Retail (SH205 Overlay) Proposed Use: Car Wash

Acreage: 0.89 AC Lots [Current]: 1 Lots [Proposed]: 1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	<u>Rockwall 205-552 LLC</u>	<input type="checkbox"/> Applicant	<u>BOING US HOLDCO, INC.</u>
Contact Person	<u>Donald L. Silverman</u>	Contact Person	<u>Lisa White</u>
Address	<u>4622 Maple Ave #200</u>	Address	<u>6300 S Syracuse Way</u>
			<u>#205</u>
City, State & Zip	<u>Dallas, Tx 75219</u>	City, State & Zip	<u>Centennial, CO 80111</u>
Phone	<u>972-980-8807</u>	Phone	<u>214-208-0339</u>
E-Mail	<u>DSilverman@MQcompanies.com</u>	E-Mail	<u>Lisawhite@ICWG.com</u>

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Donald L. Silverman [Owner] the undersigned, who stated the information on this application to be true and certified the following:

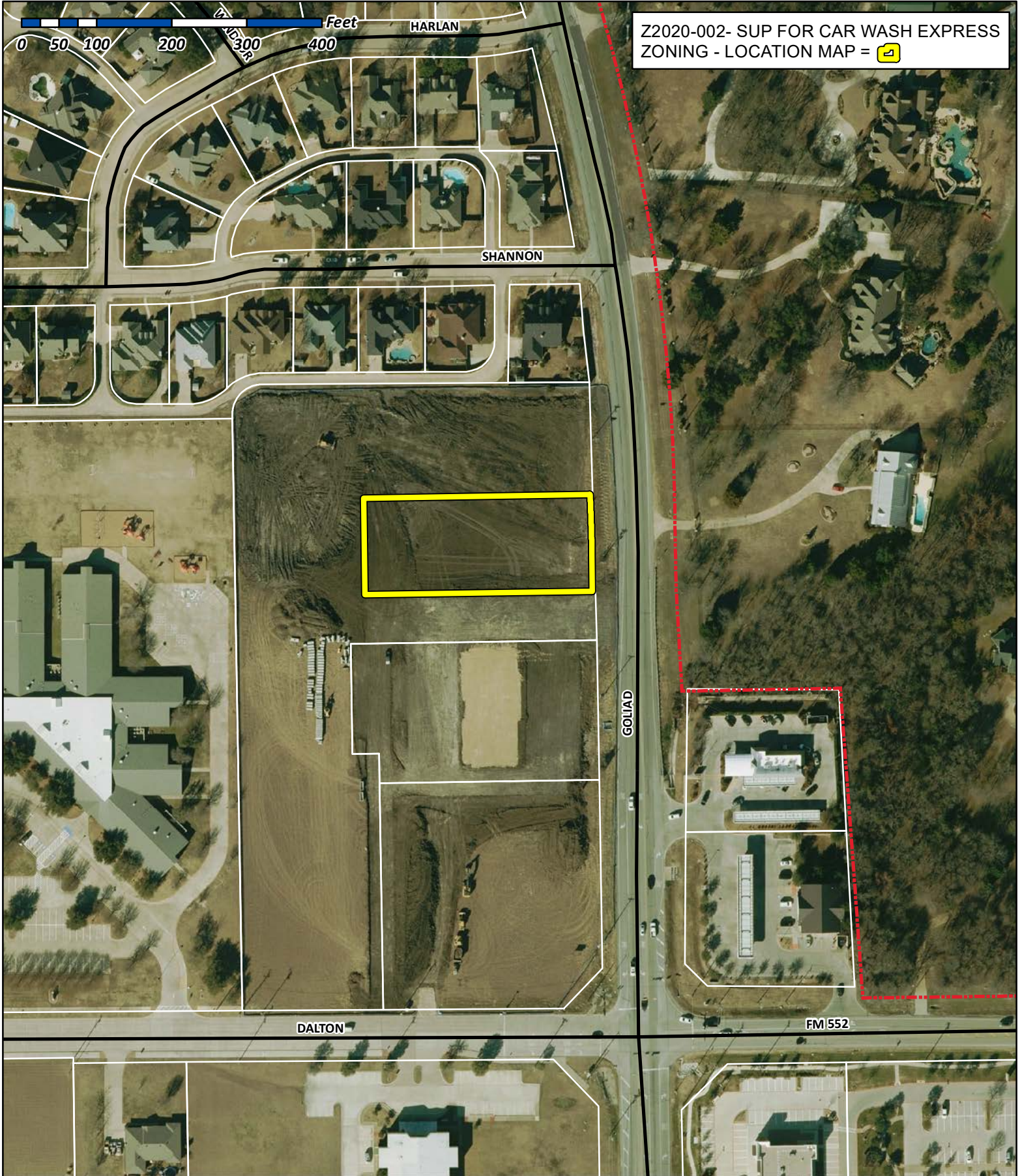
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 14th day of January, 2021. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. I am also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is requested or in response to a request for public information."

Given under my hand and seal of office on this the 14th day of January, 2021.

Owner's Signature _____

Notary Public in and for the State of Texas _____





Z2020-002- SUP FOR CAR WASH EXPRESS
 ZONING - LOCATION MAP = [yellow square icon]



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

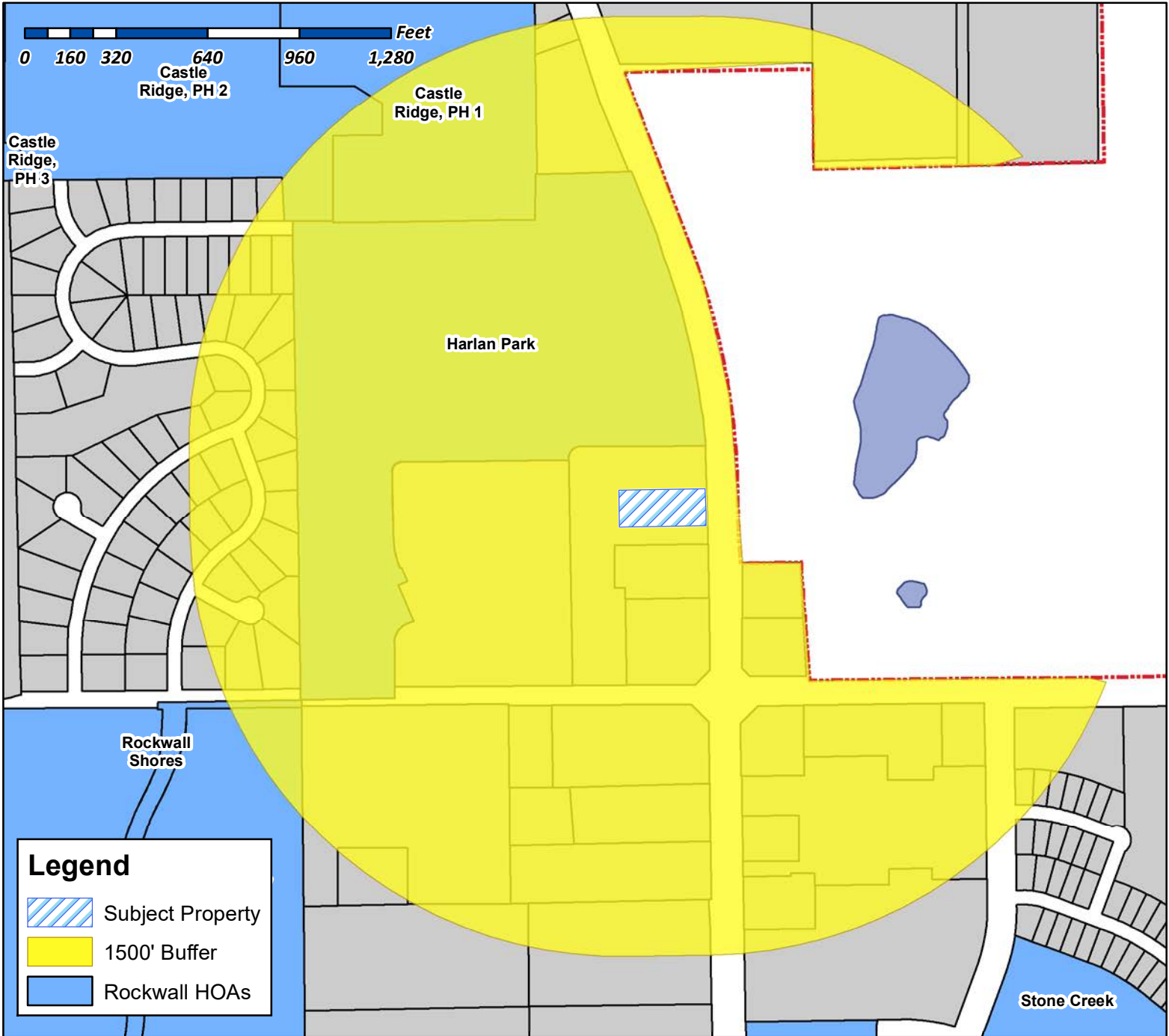
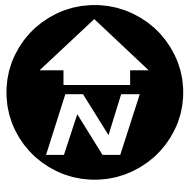




City of Rockwall

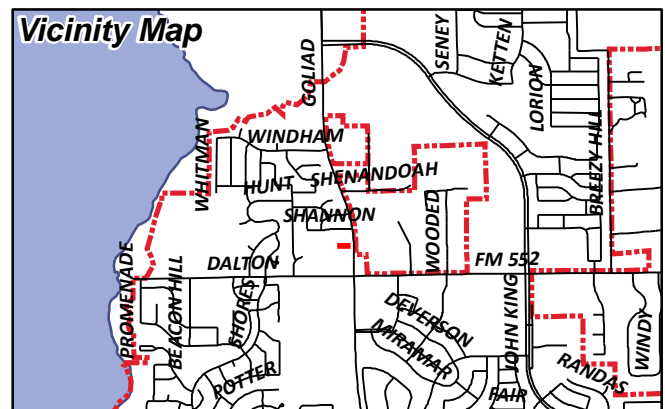
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2021-002
Case Name: SUP for Car Wash
Case Type: Zoning
Zoning: General Retail (GR) District
Case Address: 3611 N. Goliad Street

Date Created: 1/19/2021
 For Questions on this Case Call (972) 771-7745



From: [Gamez, Angelica](#)
Cc: [Miller, Ryan](#); [Gonzales, David](#); [Lee, Henry](#)
Subject: Neighborhood Notification Program [Z2021-002]
Date: Friday, January 22, 2021 9:00:06 AM
Attachments: [Public Notice \(01.19.2021\).pdf](#)
[HOA Map Z2021-002.pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [January 29, 2021](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, February 9, 2021 at 6:00 PM](#), and the City Council will hold a public hearing on [Tuesday, February 16, 2021 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2021-002 SUP for a Full Service Car Wash & Auto Detail

Hold a public hearing to discuss and consider a request by Lisa White of Boing US HoldCo, Inc. on behalf of Donald L. Silverman of Rockwall 205-552, LLC for the approval of a [Specific Use Permit \(SUP\)](#) for Full Service Car Wash and Auto Detail on a 0.89-acre tract of land identified as a portion of Lot 2, Block A, Dalton Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3611 N. Goliad Street [SH-205], and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

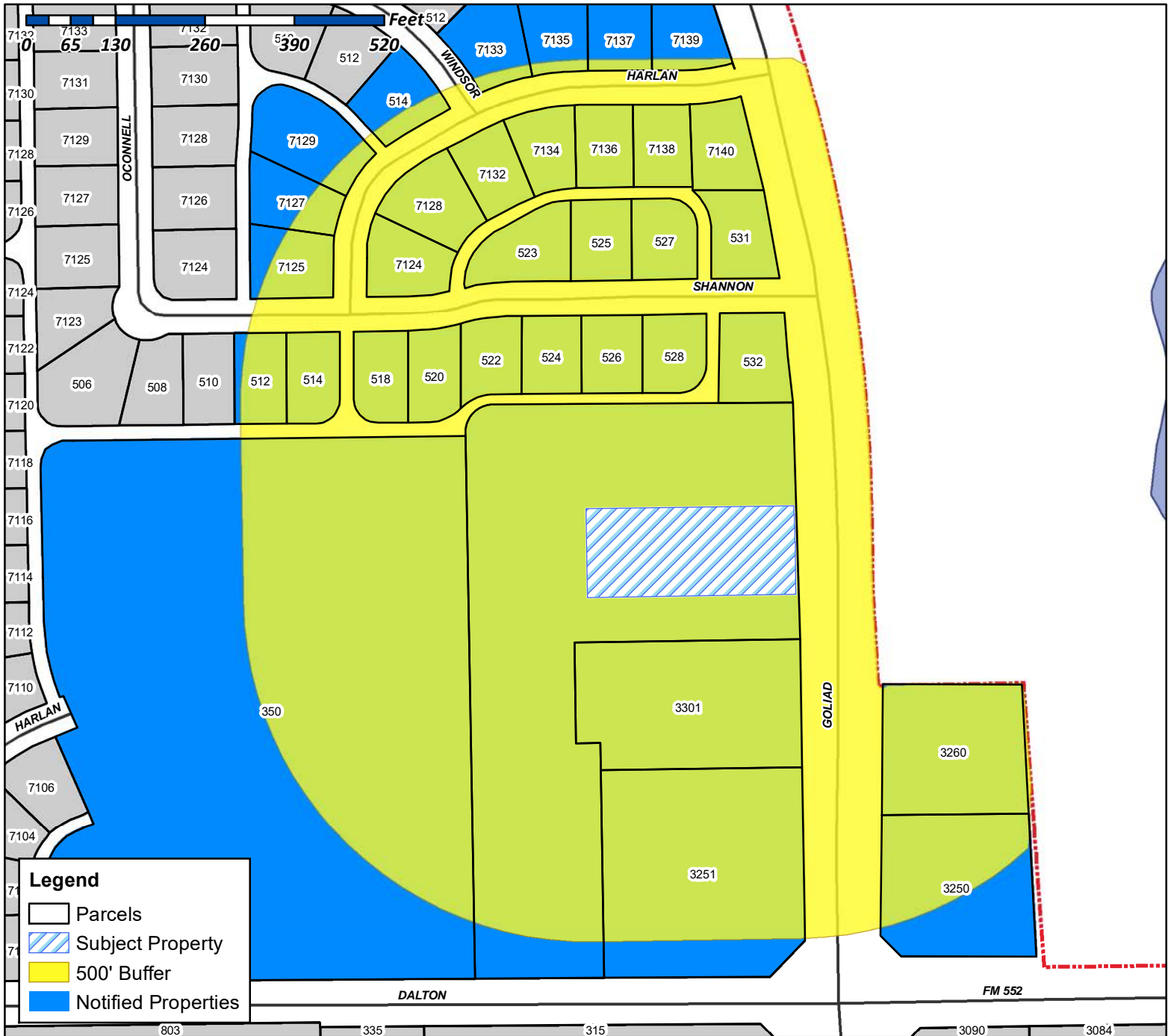
<http://www.rockwall.com/planning/>



City of Rockwall

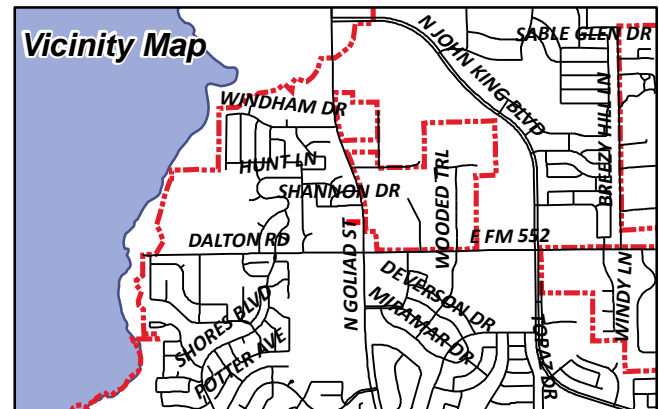
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2021-002
Case Name: SUP for Car Wash
Case Type: Zoning
Zoning: General Retail (GR) District
Case Address: 3611 N. Goliad Street

Date Created: 1/19/2021
For Questions on this Case Call (972) 771-7745



PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-002: Specific Use Permit for a Car Wash

Hold a public hearing to discuss and consider a request by Lisa White of Boing US HoldCo, Inc. on behalf of Donald L. Silverman of Rockwall 205-552, LLC for the approval of a Specific Use Permit (SUP) for Full Service Car Wash and Auto Detail on a 0.89-acre tract of land identified as a portion of Lot 2, Block A, Dalton Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3611 N. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, February 9, 2021 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, February 16, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, February 16, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2021-002: Specific Use Permit for a Car Wash

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted area]

Name: [Redacted]
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

 = RESPONSE RECEIVED

ERVIN RICHARD L
1155 W WALL ST STE 101
GRAPEVINE, TX 76051

ALDI TEXAS LLC
2500 WESTCOURT ROAD
DENTON, TX 76207

 DALTON RETAIL LLC
2954 ARBORIDGE COURT
FULLERTON, CA 92835

LIU LIRONG AND FENG XIN
3116 DEEP SPRINGS DR
PLANO, TX 75025

GOLIAD 711 ROCKWALL LLC
SILVER OAK ADVISORS LLC
3250 N GOLIAD
ROCKWALL, TX 75087

ALDI TEXAS LLC
3251 N GOLIAD
ROCKWALL, TX 75087

ERVIN RICHARD L
3260 N GOLIAD
ROCKWALL, TX 75087

DALTON RETAIL LLC
3301 N GOLIAD
ROCKWALL, TX 75087

ROCKWALL I S D
350 DALTON ROAD
ROCKWALL, TX 75087

ROCKWALL 205-552 LLC
4622 MAPLE AVE SUITE 200
DALLAS, TX 75219

MILAZZO DENNIS M SHELLY A
512 SHANNON DRIVE
ROCKWALL, TX 75087

WOLFE KENNETH & PAMELA
514 SHANNON DR
ROCKWALL, TX 75087

WAGONER LISA M
514 WINDSOR WAY
ROCKWALL, TX 75087

PRICE ELLIOTT & LATOYA DUNCAN
518 SHANNON DRIVE
ROCKWALL, TX 75087

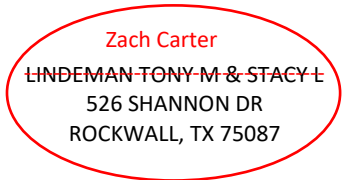
DRENNON CHRISTINA LYNN
520 SHANNON DR
ROCKWALL, TX 75087

HAN SANG HWA
522 SHANNON DR
ROCKWALL, TX 75087

BELL WILLIAM L JR & PAMELA S
523 SHANNON DR
ROCKWALL, TX 75087

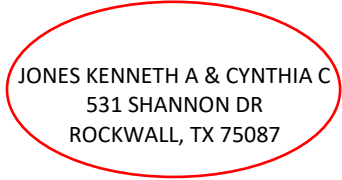
DAVIS GLYNN M & CAROLYN A
524 SHANNON DR
ROCKWALL, TX 75087

YATES GLEN M & DORIS A
525 SHANNON DR
ROCKWALL, TX 75087

 Zach Carter
~~LINDEMAN TONY M & STACY L~~
526 SHANNON DR
ROCKWALL, TX 75087

MCDANIEL DREW & TYLER
527 SHANNON DR
ROCKWALL, TX 75087

CHERUKURU NANDGOPAL
528 SHANNONDR
ROCKWALL, TX 75087

 JONES KENNETH A & CYNTHIA C
531 SHANNON DR
ROCKWALL, TX 75087

SANFORD DAVID A & ANNETTE F
532 SHANNON DR
ROCKWALL, TX 75087

CHERUKURU NANDGOPAL
609 S GOLIAD ST #2498
ROCKWALL, TX 75087

TRAN STEVE & CATHERINE
7124 HARLAN DRIVE
ROCKWALL, TX 75087

BENNETT R LANGDON & LINDA
7125 HARLAN DR
ROCKWALL, TX 75087

LIU LIRONG AND FENG XIN
7127 HARLANDR
ROCKWALL, TX 75087

MASSEY WILLIAM C JR AND LACY
7128 HARLAN DR
ROCKWALL, TX 75087

GREEN DORIS M
7129 HARLAN DR
ROCKWALL, TX 75087

VINES THOMAS & SHERRY
7132 HARLAN DR
ROCKWALL, TX 75087

FRYER CRAIG RYAN
7133 HARLAN DRIVE
ROCKWALL, TX 75087

MARTINEZ MICHELE L
7134 HARLAN DRIVE
ROCKWALL, TX 75087

WILLIAMS BUCK AND JESSICA
7135 HARLAN DRIVE
ROCKWALL, TX 75087

KELLY CASEY & CRYSTIE
7136 HARLAN DR
ROCKWALL, TX 75087

DOSS JAMES B & JENNIFER
7137 HARLAN DR
ROCKWALL, TX 75087

HORTON BILL D & JOYCE
7138 HARLAN DR
ROCKWALL, TX 75087

FAVRE JOSH GABRIEL AND TINA MARIA
7139 HARLAN DRIVE
ROCKWALL, TX 75087

RUNNELS NEVILLE J & JOHANNA E REVOCABLE
LIVING TRUST
NEVILLE J & JOHANNA E RUNNELS CO TRUSTEES
7140 HARLAN DRIVE
ROCKWALL, TX 75087

GOLIAD 711 ROCKWALL LLC
SILVER OAK ADVISORS LLC
ATTN GARSON C SOE 1630 RIVIERA AVE
WALNUT CREEK, CA 94596

Case No. Z2021-002: Specific Use Permit for a Car Wash

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

→ DO NOT APPROVE

TRAFFIC IS TERRIBLE ON 205/GOLIAD AS IS. THIS WILL
CREATE EVEN MORE, AS THE NEIGHBORHOOD IS TRYING TO GET
HOME. I DO NOT WANT ALL THOSE CHEMICALS RIGHT
NEXT TO MY HOUSE. DON'T WANT PEOPLE CONGREGATED IN BACK YARD

Name: EALH CARTER

Address: 526 SHANNON DR. ROCKWALL, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-002: Specific Use Permit for a Car Wash

Hold a public hearing to discuss and consider a request by Lisa White of Boing US HoldCo, Inc. on behalf of Donald L. Silverman of Rockwall 205-552, LLC for the approval of a Specific Use Permit (SUP) for Full Service Car Wash and Auto Detail on a 0.89-acre tract of land identified as a portion of Lot 2, Block A, Dalton Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3611 N. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, February 9, 2021 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, February 16, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, February 16, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2021-002: Specific Use Permit for a Car Wash

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

too much traffic + too close to residential neighborhoods.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

From: Dennis Dayman <[REDACTED]>
Sent: Monday, January 25, 2021 10:19 PM
To: Planning
Cc: Jennifer Dayman
Subject: Z2021-002 - SUP for Car Wash USA Express & Take 5 Oil Change

We are filing this letter in protest AGAINST Project Number: Z2021-002; Project Name: SUP for Car Wash USA Express & Take 5 Oil Change.

We can definitely understand the need for a Specific Use Permit for this project, given this property is currently zoned as a General Retail (GR) district. What becomes more difficult to understand, though, is the actual end result of this project. In reviewing the documents provided as Public Notice, Neighborhood Notification Program Letter, and the City's Project Comments, we are left wondering about the full scope of this project because of potentially mismatched information.

For example:

- In the Project Comments, the Project Name is "SUP for CarWash USA Express and Take 5 Oil Change."
- In Section I.1 of the same document, it references a request for the approval of a "Specific Use Permit for 3611 N. Goliad Street for a Full Service Car Wash and Auto Detail." (No mention of an Oil Change business.)
- In the Neighborhood Notification Program Letter, it lists Z2021-002 as "SUP for Full Service Car Wash & Auto Detail." (Again, no mention of an Oil Change business.)
- In the Public Notice, Case No. Z2021-002 is listed as an "Specific Use Permit for a Car Wash." (No mention of an Oil Change business, and in this case it appears that the higher standard and expectation of a full-service car wash and auto detailing has also been dropped.)

While we understand that the intention of all of these might indeed be the same, according to the website for Car Wash Express USA, the majority of their locations, including their four closest locations (Rowlett, Terrell, DeSoto, and Grand Prairie) offer only exterior car washes with vacuum bays for self-service. So, our unresolved questions would be these: What IS this actual project? Will it really be a full-service car wash with auto detailing? Will there be an oil change business, too? If we're getting a regular drive-through car wash with do-it-yourself vacuum bays, is this really a special enough project to warrant a zoning change?

In addition to our first example of potential mismatching information, we'd also like to mention this conflicting information:

- In the Project Comments, section I.3 (A)(2), there is a directive that there should be no outside display of merchandise (e.g. vending machines) allowed on the subject property.
- In the North Elevation provided for the project, #4 is specifically listed as a vending machine.

Of course, this is just a small detail in what we believe is an entirely unnecessary project, however, all of these small details that appear to be conflicting raise red flags to us about this project from the start.

Beyond all of the informational details that have created doubt, we are most opposed to this project for the following reasons:

- We are concerned about the incredibly close proximity (according to Google Maps, less than a football field) of these types of businesses to the playground and open spaces at Nebbie Williams Elementary.
- We are concerned about the noises, smells, and potential toxins that could impact not only the public elementary school, but also the nearby neighborhood. (This must be a reasonable concern, given the Project Comments section I.3(A)(3) requires additional landscaping to provide sound attenuation for the residential

subdivision. Related: it's surprising to us that this 'noise barrier' was not extended to the area adjacent to the school.)

- We are concerned for the standard of development in this area.
- We are concerned with adding more traffic to the already busy intersection at Dalton Road and 205.
- We are concerned with the inconsistent messaging and lack of clarity on the business plan for this property.

We feel that a business of this type should be located in more commercial or industrial areas of our city, especially near the I-30 corridor. Roads that are main arteries to the city seem more suitable for auto care facilities than this section of road that is primarily residential.

According to our understanding, a Specific Use Permit is required because city code recognizes that some areas may be suitable for this use, while others will not be. It is our personal opinion that this specific area is not suitable for a car wash (whether full-service or not), an oil change business, or any other type of auto care facility.

Previously, the City Council and Planning & Zoning had rejected Z2018-041 - SUP FOR FIRESTONE COMPLETE AUTO CARE in this same area, and it is our hope that you will again do that again in this case.

Thank you for your time and consideration -

Jennifer & Dennis Dayman
519 Cellars Court
Rockwall, TX 75087

This email was scanned by Bitdefender

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

From: GammieX4 Callaway <[REDACTED]>
Sent: Tuesday, January 26, 2021 12:21 AM
To: Planning
Subject: SUP request Z2021-002
Attachments: Car Wash Oil Change SUP Z2021-002.docx

January 25, 2021

City of Rockwall, Texas
Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

RE: Z2021-002
SUP for Car Wash USA Express and Take 5 Oil Change

To the Planning and Zoning Commission:

My husband and I live at 517 Cellars Ct, Rockwall, TX 75087 (Harlan Park Phase 1). We are opposed to the referenced SUP (Z2021-002) proposing zoning approval of Car Wash USA Express and Take 5 Oil Change at 3611 N. Goliad.

First, we are confused by the Project name – P/Z agenda refers to SUP Z2021-002, full service car wash and auto detail. From review of the P/Z website, the neighborhood SUP request notification reflects **a car wash**, not a *full service car wash and auto detail*. Only in examination of the site plan documents, is an oil change facility noted as the title. We are not able to determine the location of the oil change segment from the site drawing or the elevation drawings. To us, it does not appear that an oil change business is a part of this SUP. It is noted on the site drawing that “O’Reilly Auto Parts development by others” for the remainder of Lot 2, Block A of Dalton Goliad Addition, CAB J, Slide 17. If it is not, the drawing title is quite deceptive. So our initial question is “WHAT DOES THIS PROJECT ENTAIL”? Is this SUP for a full service car wash and auto detail concept, for a car wash only, or for a car wash (full service or not) and an oil change facility?

Currently, this property is zoned General Retail (GR). This zoning requires a Specific Use Permit (SUP) for this particular type of retail to be located at this address. This raises concerns from our family, due to the “out the back door” proximity to Nebbie Williams Elementary School (public school) and for the standard of development in this area. Our primary concerns revolve around the chemicals and odors this type of establishment (car wash/ car wash and oil change) involves. Children and teachers should not be exposed to those odors and toxins every day on the adjoining playground. And what about our neighbors whose property backs up to this property? We hope they are in total opposition to this SUP request. Since this does require a SUP approval, we recognize, as the city does, that some areas may be more suitable than others for retail purposes. We are of the mindset that this specific area is not suitable for a car wash/oil change business. We strongly feel this type of business should be located in a more commercial area. We realize commercial lot availability is at a premium in our no longer small town, however, the residuals from this type of business have no place in this general retail (GR) area that borders schools and residential areas.

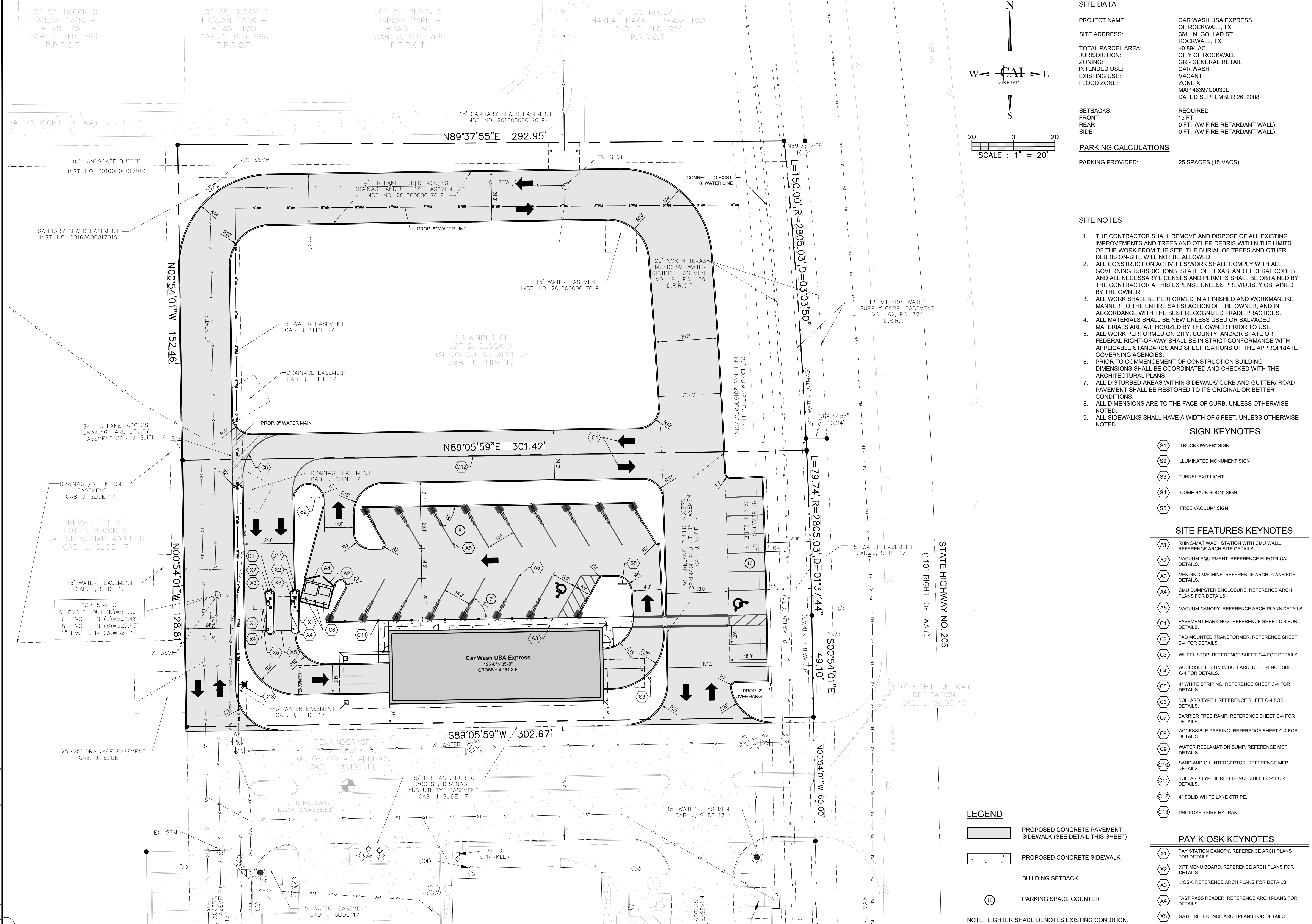
If you, Planning and Zoning, our city representatives, approve this SUP request, we plead that a substantial mature landscape line of sight barrier be mandated to provide and protect privacy to the adjacent school and neighboring homes.

Also it bears mentioning that access and egress will only put additional strain on the clog of traffic already at Goliad (Hwy 205) and Dalton Rd/FM552.

SuLaine and Wendell Callaway

This email was scanned by Bitdefender

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.



SITE DATA

PROJECT NAME: CAR WASH USA EXPRESS OF ROCKWALL, TX
 SITE ADDRESS: 3611 N. GOLIAD ST. ROCKWALL, TX 75087
 TOTAL PARCEL AREA: 40.894 AC
 JURISDICTION: CITY OF ROCKWALL
 ZONING: GR - GENERAL RETAIL
 INTENDED USE: CAR WASH
 EXISTING USE: VACANT
 FLOOD ZONE: ZONE X
 MAP # 48397C0030L
 DATED SEPTEMBER 26, 2008

SETBACKS:
 FRONT: 15 FT.
 REAR: 0 FT. (W/ FIRE RETARDANT WALL)
 SIDE: 0 FT. (W/ FIRE RETARDANT WALL)

PARKING CALCULATIONS
 PARKING PROVIDED: 25 SPACES (15 VACS)

- SITE NOTES**
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING IMPROVEMENTS AND TREES AND OTHER DEBRIS WITHIN THE LIMITS OF THE WORK FROM THE SITE. THE BURIAL OF TREES AND OTHER DEBRIS ON-SITE WILL NOT BE ALLOWED.
 - ALL CONSTRUCTION ACTIVITIES/WORK SHALL COMPLY WITH ALL GOVERNING JURISDICTIONS, STATE OF TEXAS, AND FEDERAL CODES AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER.
 - ALL WORK SHALL BE PERFORMED IN A FINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER, AND IN ACCORDANCE WITH THE BEST RECOGNIZED TRADE PRACTICES.
 - ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER PRIOR TO USE.
 - ALL WORK PERFORMED ON CITY, COUNTY, AND/OR STATE OR FEDERAL RIGHT-OF-WAY SHALL BE IN STRICT CONFORMANCE WITH APPLICABLE STANDARDS AND SPECIFICATIONS OF THE APPROPRIATE GOVERNING AGENCIES.
 - PRIOR TO COMMENCEMENT OF CONSTRUCTION BUILDING DIMENSIONS SHALL BE COORDINATED AND CHECKED WITH THE ARCHITECTURAL PLANS.
 - ALL DISTURBED AREAS WITHIN SIDEWALK/ CURB AND GUTTER/ ROAD PAVEMENT SHALL BE RESTORED TO ITS ORIGINAL OR BETTER CONDITIONS.
 - ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
 - ALL SIDEWALKS SHALL HAVE A WIDTH OF 5 FEET, UNLESS OTHERWISE NOTED.

- SIGN KEYNOTES**
- (S1) "TRUCK OWNER" SIGN
 - (S2) ILLUMINATED MONUMENT SIGN
 - (S3) TUNNEL EXIT LIGHT
 - (S4) "COME BACK SOON" SIGN
 - (S5) "FREE VACUUM" SIGN

- SITE FEATURES KEYNOTES**
- (A1) RHINO-MAT WASH STATION WITH CMU WALL. REFERENCE ARCH SITE DETAILS.
 - (A2) VACUUM EQUIPMENT. REFERENCE ELECTRICAL DETAILS.
 - (A3) VENDING MACHINE. REFERENCE ARCH PLANS FOR DETAILS.
 - (A4) CMU DUMPSTER ENCLOSURE. REFERENCE ARCH PLANS FOR DETAILS.
 - (A5) VACUUM CANOPY. REFERENCE ARCH PLANS DETAILS.
 - (C1) PAVEMENT MARKINGS. REFERENCE SHEET C-4 FOR DETAILS.
 - (C2) PAD MOUNTED TRANSFORMER. REFERENCE SHEET C-4 FOR DETAILS.
 - (C3) WHEEL STOP. REFERENCE SHEET C-4 FOR DETAILS.
 - (C4) ACCESSIBLE SIGN IN BOLLARD. REFERENCE SHEET C-4 FOR DETAILS.
 - (C5) 4" WHITE STRIPING. REFERENCE SHEET C-4 FOR DETAILS.
 - (C6) BOLLARD TYPE I. REFERENCE SHEET C-4 FOR DETAILS.
 - (C7) BARRIER FREE RAMP. REFERENCE SHEET C-4 FOR DETAILS.
 - (C8) ACCESSIBLE PARKING. REFERENCE SHEET C-4 FOR DETAILS.
 - (C9) WATER RECLAMATION SUMP. REFERENCE MEP DETAILS.
 - (C10) SAND AND OIL INTERCEPTOR. REFERENCE MEP DETAILS.
 - (C11) BOLLARD TYPE II. REFERENCE SHEET C-4 FOR DETAILS.
 - (C12) 4" SOLID WHITE LANE STRIPE.
 - (C13) PROPOSED FIRE HYDRANT

- PAY KIOSK KEYNOTES**
- (X1) PAY STATION CANOPY. REFERENCE ARCH PLANS FOR DETAILS.
 - (X2) XPT MENU BOARD. REFERENCE ARCH PLANS FOR DETAILS.
 - (X3) KIOSK. REFERENCE ARCH PLANS FOR DETAILS.
 - (X4) FAST PASS READER. REFERENCE ARCH PLANS FOR DETAILS.
 - (X5) GATE. REFERENCE ARCH PLANS FOR DETAILS.

LEGEND

- PROPOSED CONCRETE PAVEMENT SIDEWALK (SEE DETAIL THIS SHEET)
- PROPOSED CONCRETE SIDEWALK
- BUILDING SETBACK
- PARKING SPACE COUNTER

NOTE: LIGHTER SHADE DENOTES EXISTING CONDITION.

CAI

CARTER ASSOCIATES, INC.
SERVING FLORIDA SINCE 1911
CONSULTING ENGINEERS
AND LAND SURVEYORS
1708 21ST STREET
VERO BEACH, FL 32960
TEL: 888-666-4191
EMAIL: Trevor@CarterAssoc.com

BOING US HOLDCO, INC

dba "CAR WASH USA EXPRESS"
6300 S SYRACUSE WAY #205
CENTENNIAL, CO 80111
EMAIL: LISAWHITE@BOING.COM

CAR WASH USA EXPRESS

3611 N. GOLIAD STREET
ROCKWALL, TX 75087

STATE OF TEXAS
TREVOR STUBBS
138964
LICENSED PROFESSIONAL ENGINEER

TREVOR STUBBS, P.E.
TX LIC. NO. 138964
CARTER ASSOCIATES, INC.
COA 205 / LB 205

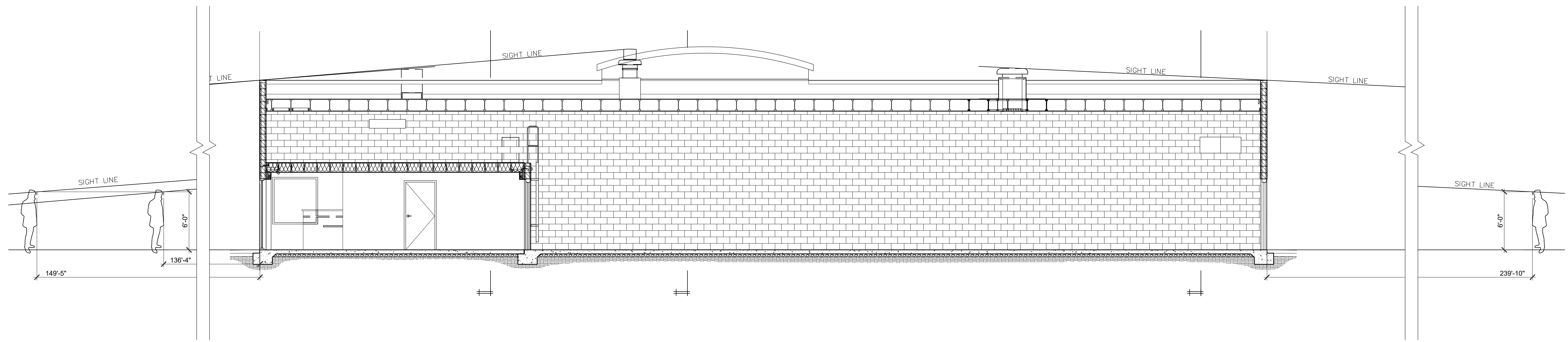
DATE: 2/1/21
 PROJ. #: 20-419 E
 DRAWN BY: TGS
 DATUM: SEE SURVEY
 REF. #: SEE SURVEY
 F.B. & PG.: SEE SURVEY

SHEET TITLE:
SITE PLAN

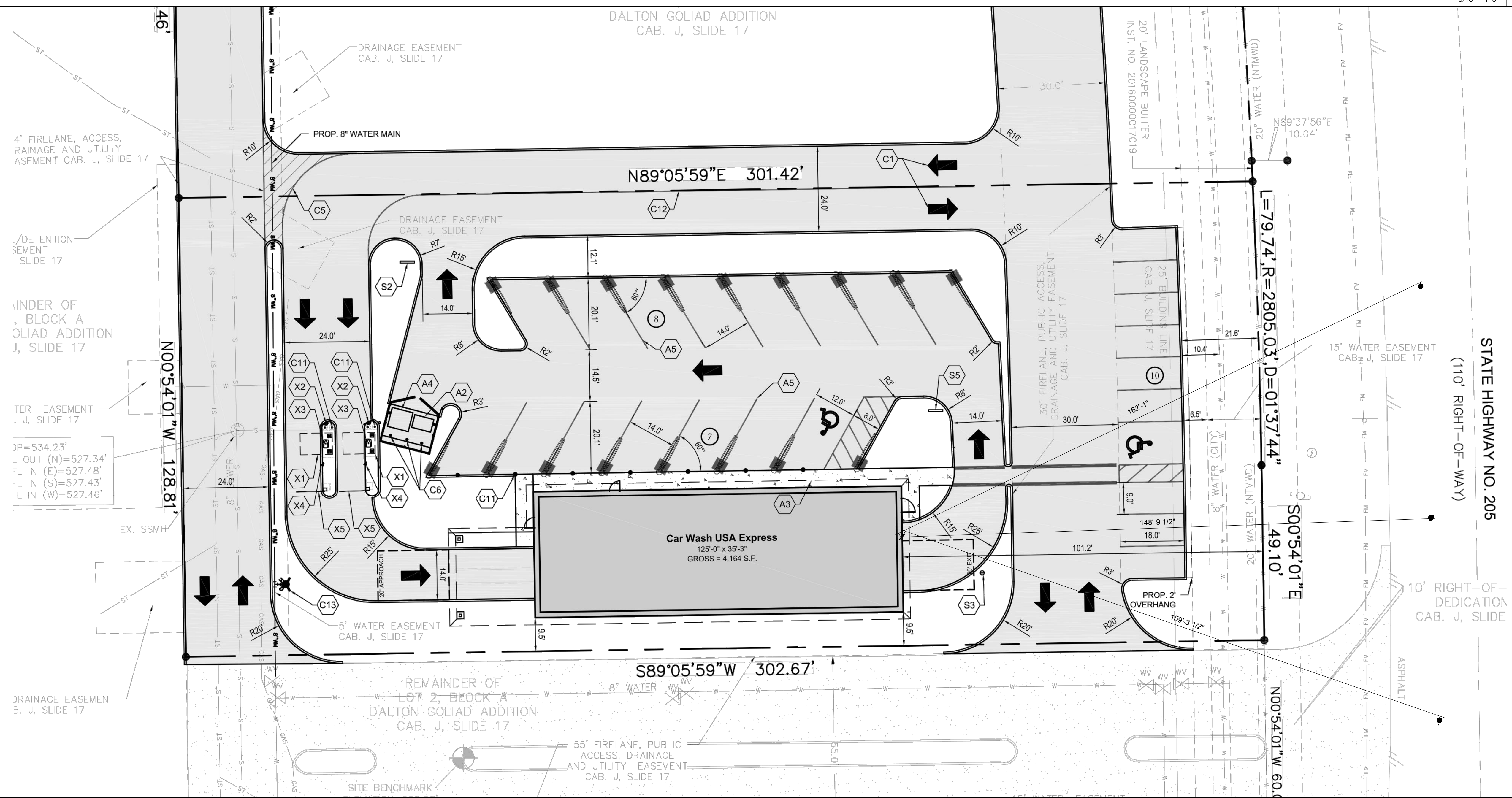
SHEET
C-3

DWG. NO:

Feb. 12, 2021 1:33 PM P:\20-419 E-CAR WASH USA EXPRESS\20-419 E-3A-3E.dwg: Siba, Keith Brown



SIGHT LINE STUDY
3/16" = 1'-0"



SIGHT LINE STUDY
3/16" = 1'-0"



DATE	DELTA
XX-XX-XX	1 X
XX-XX-XX	2 X
XX-XX-XX	3 X
XX-XX-XX	4 X
XX-XX-XX	5 X
XX-XX-XX	6 X

TAKE 5 CAR WASH
NORTH GOLIAD STREET
ROCKWALL, TX

ARCHITECT:
NEPTUNE
DESIGN STUDIO

ENGINEER:

STAMPS

SHEET TITLE
EXTERIOR ELEVATIONS

PROJECT NUMBER
20-018

DATE: 01.14.2021
SCALE: AS NOTED
DRAWN: TMS
CHECKED: JDE
SHEET NO:

A300A



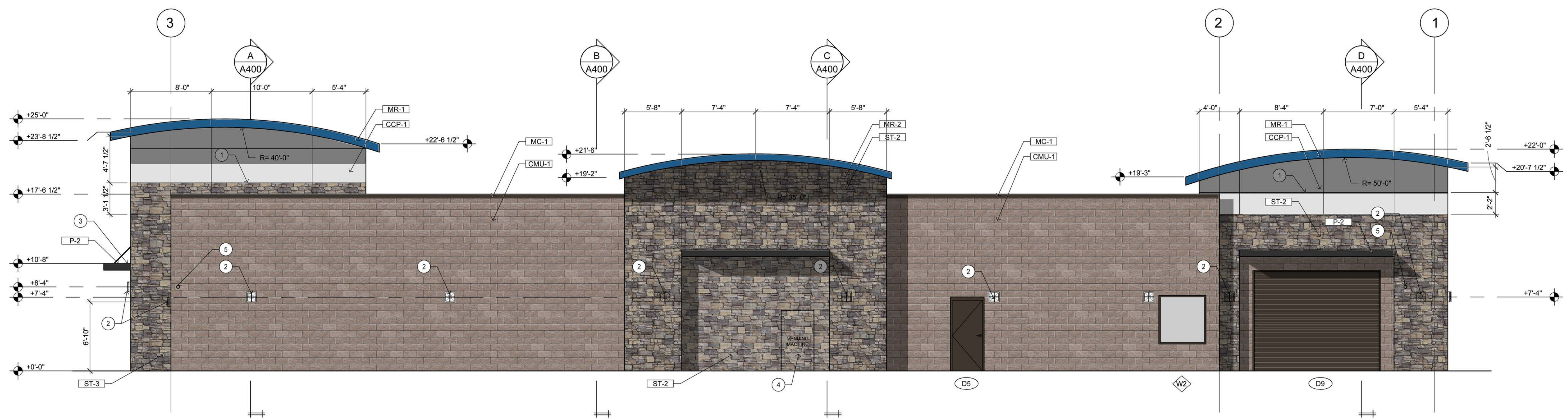
DATE	DESCRIPTION	DELTA
XX-XX-XX		1 X
XX-XX-XX		2 X
XX-XX-XX		3 X
XX-XX-XX		4 X
XX-XX-XX		5 X
XX-XX-XX		6 X

TAKE 5 CAR WASH
 NORTH GOLIAD STREET
 ROCKWALL, TX

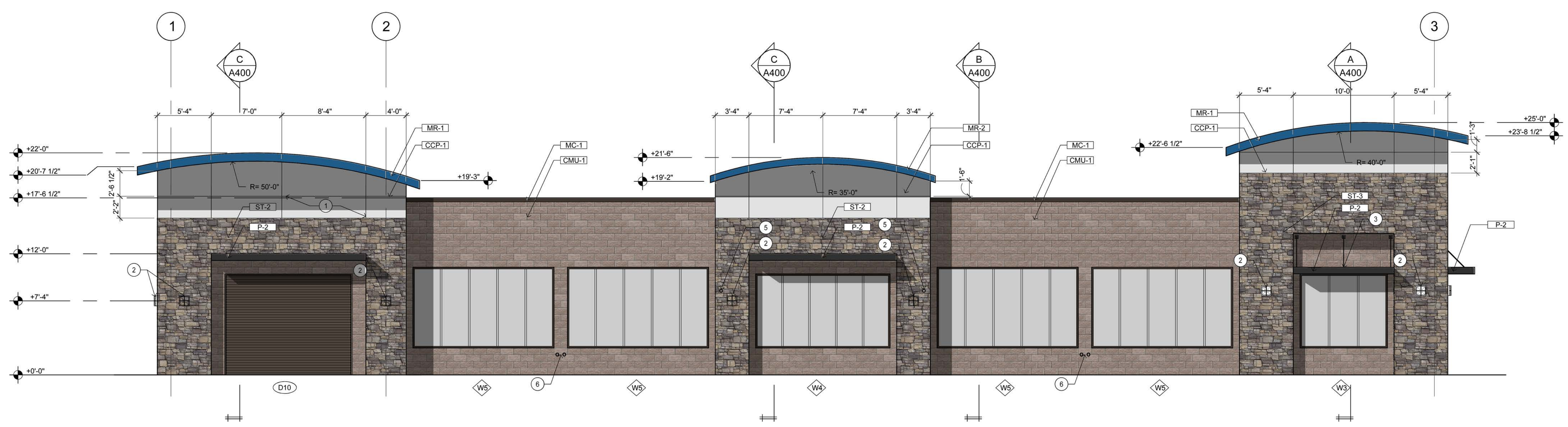
ARCHITECT:
NEPTUNE
 DESIGN STUDIO

ENGINEER:

STAMPS



NORTH ELEVATION
3/16" = 1'-0" 1



SOUTH ELEVATION
3/16" = 1'-0" 2

EXTERIOR MATERIAL AND FINISH SCHEDULE							
MARK	DESCRIPTION	MANUFACTURER	MODEL/STYLE	SIZE	COLOR	FINISH	REMARKS
CMU-1	CONCRETE MASONRY UNIT	ESHELON	SPLIT FACE	8X8X16	APACHE BROWN	-	REFER TO STRUCTURAL FOR MATERIAL SPECIFICATIONS
CCP-1	COMMERCIAL CEMENT PLASTER (STUCCO)	LAHABRA PAREX USA	-	-	P-1	SAND	
MR-1	METAL ROOFING	FIRESTONE	UNA-CLAD	-	ELECTRIC BLUE	-	
MR-2	METAL ROOFING (ARCHED COPING)	FIRESTONE	UNA-CLAD	-	ELECTRIC BLUE	-	
MP-1	METAL PANEL(SOFFIT)	FIRESTONE	UNA-CLAD UC-501	-	ELECTRIC BLUE	-	
MC-1	METAL COPING	METAL-ERA	PERMA-TITE	-	DARK BRONZE	-	TAPERED
P-1	EXTERIOR PAINT	SHERWIN WILLIAMS	PER SUBSTRATE	-	SW6539 SOOTHING WHITE	SEE REMARKS	WALLS: PAINT SPECIFICATIONS #1
P-2	EXTERIOR PAINT	SHERWIN WILLIAMS	PER SUBSTRATE	-	SW6991 BLACK MAGIC	SEE REMARKS	CANPOIES: PAINT SPECIFICATION #5
F-1	SHADE FABRIC - VACUUM ARCHES	POLYFAB	COMTEX	-	865227 RED	-	DOORS AND FRAMES: PAINT SPECIFICATION #5
PC-1	POWDER COAT - VACUUM ARCHES	CARDINAL PAINTS VIA VACUTECH	-	-	SILVER METALLIC 30 GLOSS T353-GR06	-	RESPONSIBILITY
PC-2	POWDER COAT - TSS CANOPY	TSS	-	-	BLUE	-	FACTORY POWDER COATED
H-1	VACUUM HOSE	VACUTECH	-	-	RED	-	
ST-1	STONE WALL CAP	MODERN PRE-CAST	FLAT COPING	8"	CHARCOAL	-	
ST-2	CULTURED STONE	ELDOORADO	LUCERA	VARIABLE	TAN/STONE	-	
ST-3	NATURAL STONE	TBD	TBD	12"	NATURAL	-	

REFER TO SHEET A803 FOR FINISH SPECIFICATIONS

EXTERIOR FINISHES
N.T.S.

- KEYNOTES**
- COMMERCIAL CEMENT PLASTER CONTROL JOINT, TYPICAL.
 - EXTERIOR LIGHT FIXTURE "W". REFER TO E500 FOR LIGHT FIXTURE SCHEDULE.
 - PAINTED STEEL CANOPY.
 - VENDING MACHINE. FURNISHED AND INSTALLED BY OWNER'S CONTRACTOR. REFER TO ELECTRICAL FOR POWER AND DATA REQUIREMENTS.
 - SECURITY CAMERA. FURNISHED AND INSTALLED BY OWNER'S CONTRACTOR. REFER TO E301 FOR CONDUIT REQUIREMENTS
 - ROOF DRAIN LEADER AND OVERFLOW OUTLETS

- GENERAL NOTES**
- CONTRACTOR TO COORDINATE WITH FIRE MARSHALL FOR REQUIREMENTS OF ADDRESS NUMBER.
 - BUILDING SIGNAGE UNDER SEPARATE PERMIT. CONTRACTOR TO OBTAIN FINAL SIGNAGE DRAWINGS FOR CONFIRMATION OF ELECTRICAL ROUGH-IN PRIOR TO THE COMMENCEMENT OF WORK. SEE ELECTRICAL.
 - REFER TO E301 FOR SECURITY PLAN. COORDINATE FINAL LOCATIONS OF CAMERAS WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.
 - UNLESS NOTED OTHERWISE, MASONRY CONTROL JOINTS SHALL BE LOCATED SUCH THAT NO STRAIGHT RUN OF MASONRY WALL EXCEEDS 24'-0". REFER TO GENERAL STRUCTURAL NOTES ON S100.
 - REFER TO DOOR AND WINDOW SCHEDULE ON A802 FOR DOOR AND FRAME FINISHES AND WINDOW GLASS TYPE AND FRAME FINISHES.

PLOT DATE : 2/1/2021 TIME: 6:44 PM

SHEET TITLE
EXTERIOR ELEVATIONS
 PROJECT NUMBER
20-018
 DATE: 01.14.2021
 SCALE: AS NOTED
 DRAWN: TMS
 CHECKED: JDE
 SHEET NO
A300



DATE	DESCRIPTION	DELTA
XX-XX-XX	1 X	
XX-XX-XX	2 X	
XX-XX-XX	3 X	
XX-XX-XX	4 X	
XX-XX-XX	5 X	
XX-XX-XX	6 X	

TAKE 5 CAR WASH

NORTH GOLIAD STREET
ROCKWALL, TX

ARCHITECT:
NEPTUNE
DESIGN STUDIO

ENGINEER:

STAMPS

SHEET TITLE

EXTERIOR ELEVATIONS

PROJECT NUMBER
20-018

DATE 01.14.2021

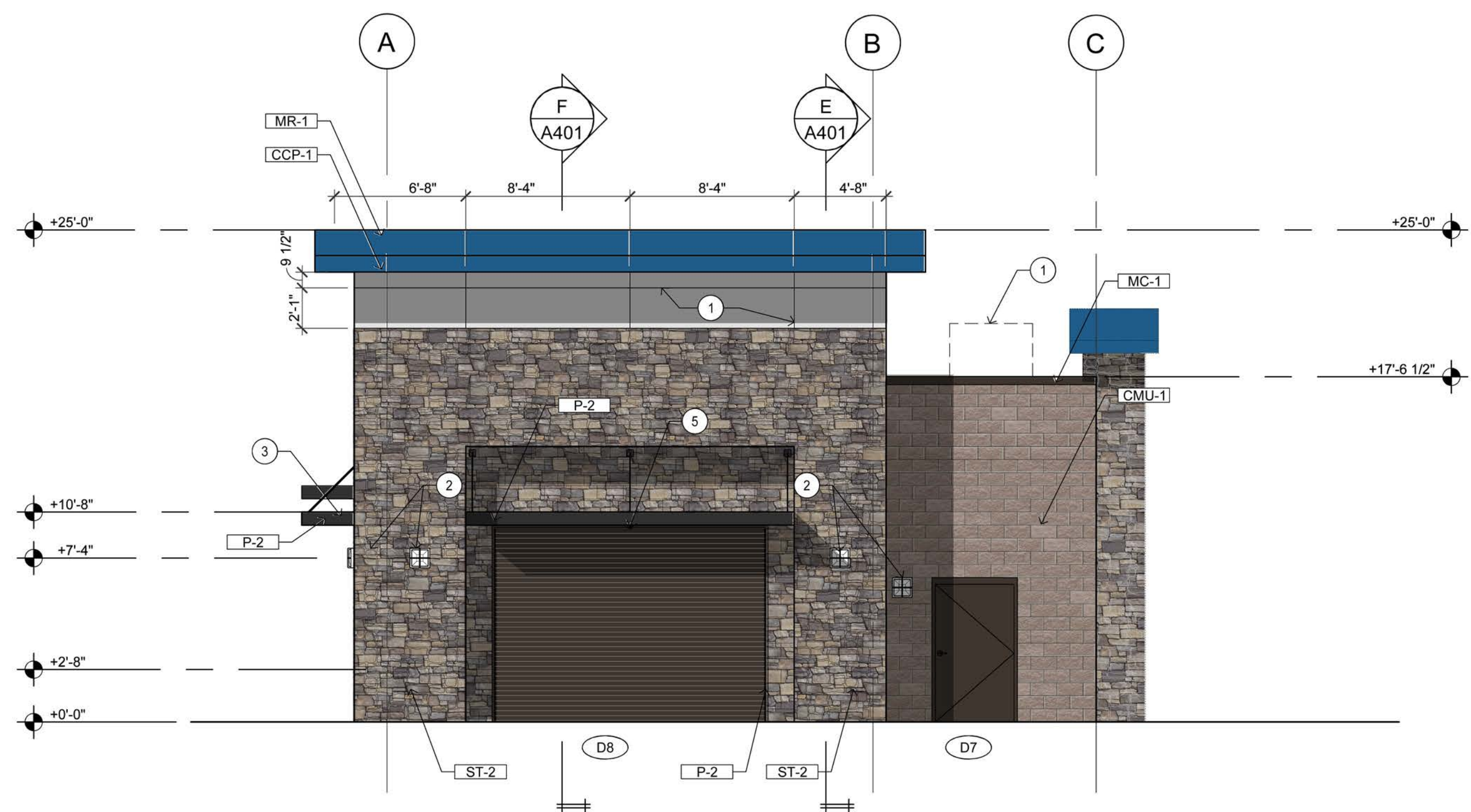
SCALE AS NOTED

DRAWN TMS

CHECKED JDE

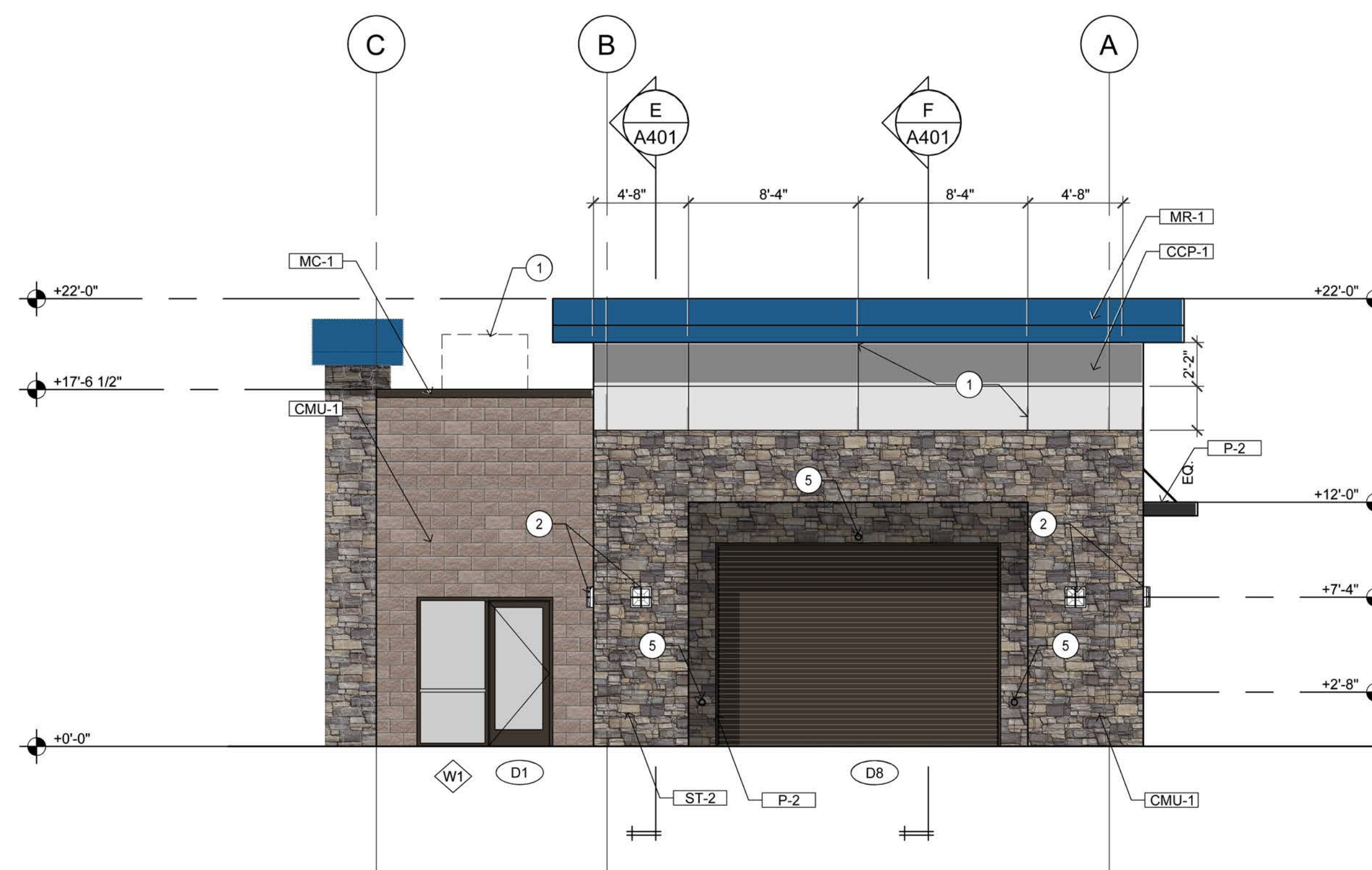
SHEET NO

A301



WEST ELEVATION

4



EAST ELEVATION

3

EXTERIOR MATERIAL AND FINISH SCHEDULE

MARK	DESCRIPTION	MANUFACTURER	MODEL/STYLE	SIZE	COLOR	FINISH	REMARKS
CMU-1	CONCRETE MASONRY UNIT	ESHELON	SPLIT FACE	8X8X16	APACHE BROWN	-	REFER TO STRUCTURAL FOR MATERIAL SPECIFICATIONS
CCP-1	COMMERCIAL CEMENT PLASTER (STUCCO)	LAHABRA PAREX USA	-	-	P-1	SAND	
MR-1	METAL ROOFING	FIRESTONE	UNA-CLAD	-	ELECTRIC BLUE	-	
MR-2	METAL ROOFING (ARCHED COPING)	FIRESTONE	UNA-CLAD	-	ELECTRIC BLUE	-	
MP-1	METAL PANEL(SOFFIT)	FIRESTONE	UNA-CLAD UC-501	-	ELECTRIC BLUE	-	
MC-1	METAL COPING	METAL-ERA	PERMA-TITE	-	DARK BRONZE	TAPERED	
P-1	EXTERIOR PAINT	SHERWIN WILLIAMS	PER SUBSTRATE	-	SW6539 SOOTHING WHITE	SEE REMARKS	WALLS: PAINT SPECIFICATIONS #1
P-2	EXTERIOR PAINT	SHERWIN WILLIAMS	PER SUBSTRATE	-	SW6991 BLACK MAGIC	SEE REMARKS	CANPOIES: PAINT SPECIFICATION #5 DOORS AND FRAMES: PAINT SPECIFICATION #5
F-1	SHADE FABRIC - VACUUM ARCHES	POLYFAB	COMTEX	-	865227 RED	-	RESPONSIBILITY
PC-1	POWDER COAT - VACUUM ARCHES	CARDINAL PAINTS VIA VACUTECH	-	-	SILVER METALLIC 30 GLOSS T353-GR06	-	FACTORY POWDER COATED
PC-2	POWDER COAT - TSS CANOPY	TSS	-	-	BLUE	-	FACTORY POWDER COATED
H-1	VACUUM HOSE	VACUTECH	-	-	RED	-	
ST-1	STONE WALL CAP	MODERN PRE-CAST	FLAT COPING	8"	CHARCOAL	-	
ST-2	CULTURED STONE	ELDORADO	LUCERA	VARIES	TAN/STONE	-	
ST-3	NATURAL STONE	TBD	TBD	12"	NATURAL	-	

REFER TO SHEET A803 FOR FINISH SPECIFICATIONS

EXTERIOR FINISHES

N.T.S

KEYNOTES

- 1 COMMERCIAL CEMENT PLASTER CONTROL JOINT, TYPICAL.
- 2 EXTERIOR LIGHT FIXTURE 'W'. REFER TO E500 FOR LIGHT FIXTURE SCHEDULE.
- 3 PAINTED STEEL CANOPY
- 4 VENDING MACHINE. FURNISHED AND INSTALLED BY OWNER'S CONTRACTOR. REFER TO ELECTRICAL FOR POWER AND DATA REQUIREMENTS.
- 5 SECURITY CAMERA. FURNISHED AND INSTALLED BY OWNER'S CONTRACTOR. REFER TO E301 FOR CONDUIT REQUIREMENTS

GENERAL NOTES

- A. CONTRACTOR TO COORDINATE WITH FIRE MARSHALL FOR REQUIREMENTS OF ADDRESS NUMBER.
- B. BUILDING SIGNAGE UNDER SEPARATE PERMIT. CONTRACTOR TO OBTAIN FINAL SIGNAGE DRAWINGS FOR CONFIRMATION OF ELECTRICAL ROUGH-IN PRIOR TO THE COMMENCEMENT OF WORK. SEE ELECTRICAL.
- C. REFER TO E301 FOR SECURITY PLAN. COORDINATE FINAL LOCATIONS OF CAMERAS WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.
- D. UNLESS NOTED OTHERWISE, MASONRY CONTROL JOINTS SHALL BE LOCATED SUCH THAT NO STRAIGHT RUN OF MASONRY WALL EXCEEDS 24'-0". REFER TO GENERAL STRUCTURAL NOTES ON S100.
- E. REFER TO DOOR AND WINDOW SCHEDULE ON A802 FOR DOOR AND FRAME FINISHES AND WINDOW GLASS TYPE AND FRAME FINISHES.



Since 1957

1595 Clark Boulevard
Brampton, ON
L6T 4V1

Tel: (905) 793-9800
Fax: (905) 793-0641

Buildings

Environment

Geotechnical

Infrastructure

Materials & Quality

www.trow.com

*One Company.
One Contact.
One Stop.*



March 11, 2008

Reference: BAEN00286072B

Mr. Bob MacNeil
MacNeil Wash Systems
423 Welham Road,
Barrie, Ontario L4N 8Y4

**Noise Assessment – Car Wash System
623 Yonge Street / Big Bay Point Road
Barrie, Ontario**

Dear Mr. MacNeil:

1. Introduction

At the request of PetroCanada and MacNeil Wash Systems (MacNeil), Trow Associates Inc. (Trow) performed a noise assessment of the car wash system located at 623 Yonge Street junction with Big Bay Point Road in Barrie, Ontario. The assessment was performed on August 27, 2007.

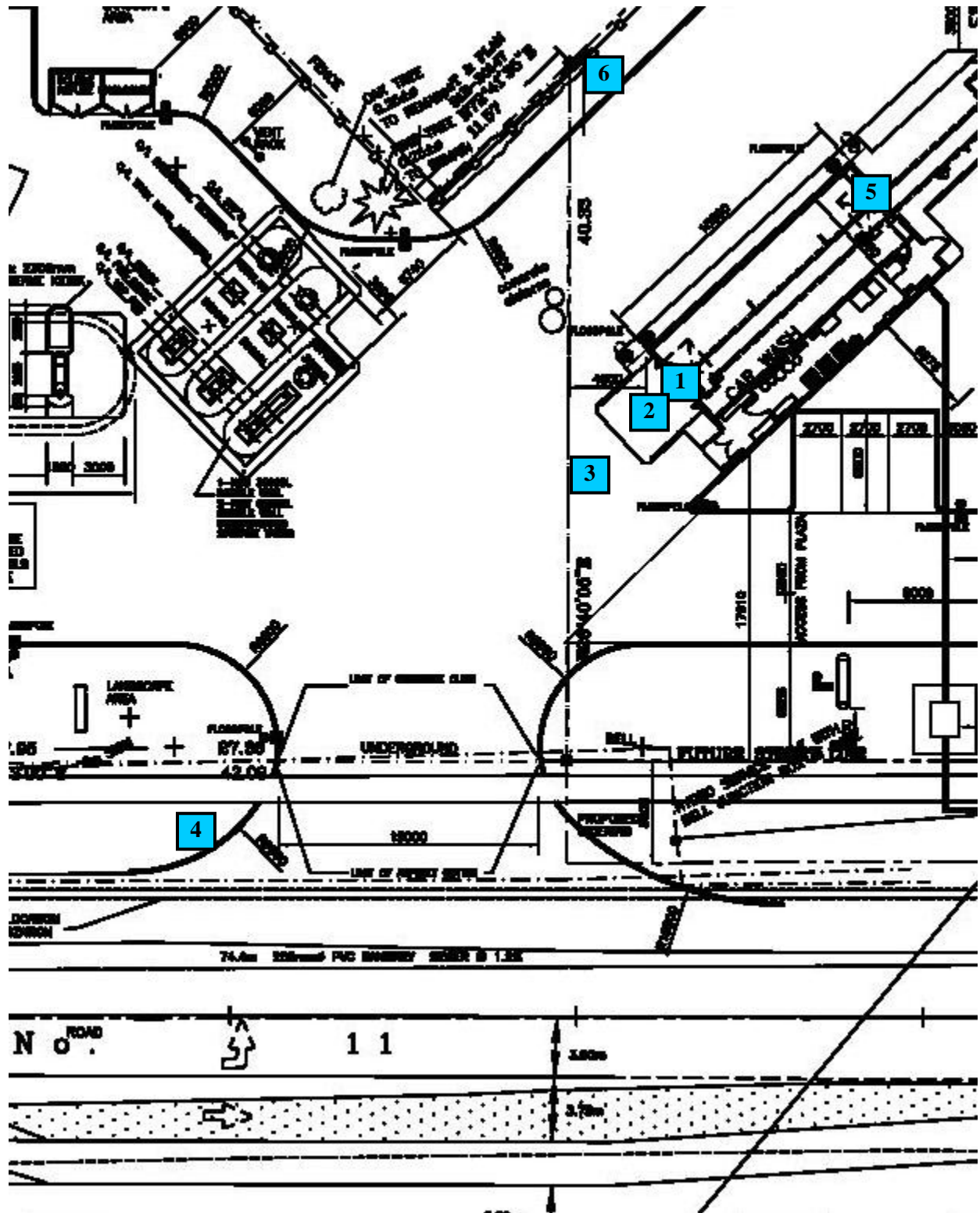
Trow understands that the assessment is required to compare a car wash system using standard dryer fans with a system equipped with MacNeil dryer fans. The assessment protocol evaluated the total noise (dBA weighting) at the site with the car wash system dryer and conveyor components running and heat saver doors open. Measurements were also collected with the car wash system shut down to assess the level of background noise at the site.

2. Equipment and Assessment Protocol

Sound pressure level was measured by a Quest 2900 Integration Sound Level Meter (S/N CDF04002). Measurement of total noise was made using dBA weighting.

The microphone was positioned in an upright position, 1 m above ground level for all measurements. Measurements were collected from locations in front of the exit to the car wash at distance of 0 m (Location 1), 4.6 m (Location 2), 9.1 m (Location 3), and 36.6 m (Location 4). Additional measurements were made at the entrance to the car wash (Location 5) and at 90° to the car wash system at the fence line of the property (Location 6). Monitoring locations are shown in Figure 1.

Figure 1: Monitoring Locations



1 Noise Measurement Location

The car wash was closed to commercial traffic throughout the monitoring period. The adjacent PetroCanada gas bar was in operation during the measurement period, resulting in commercial traffic using the roadway directly in front of the exit to the car wash (see Appendix 1: Site Plan).

Extraneous noise sources at neighbouring facilities were outside the control of PetroCanada, MacNeil and Trow. Trow considers that the primary source of extraneous noise was due to road traffic on Yonge Street. The impact of noise arising from traffic on Yonge Street was assessed by conducting a limited traffic survey immediately following completion of noise measurements. Data from the traffic survey has been interpreted using the Ontario Road Noise Analysis Method for Environment and Transportation (ORNAMENT) developed by the Ontario MOE.

3. Background Noise Assessment

Trow’s traffic survey indicated the following traffic volumes on Yonge Street to the south-east of the junction between Yonge Street and Big Bay Point Road in Barrie:

Table 1: Traffic Survey Data

Vehicle Type	Vehicle Count (14:20 – 14:40)	Vehicle Volume (vehicles / hour)	Vehicle Percentage by Type	Truck Type Percentage
Cars	350	1050	94	-
Light Trucks	4	12	1	17
Heavy Trucks	19	57	5	83

The anticipated background noise level arising from Yonge Street at each noise monitoring location was assessed using ORNAMENT. Basing calculations on the posted speed limit of 50 km/hr; an hourly traffic volume of 1000 vehicles / hour (closest ORNAMENT category to actual vehicle volume); 6% truck volume; 12.5% medium trucks (closest ORNAMENT category to actual truck percentage); and, noise attenuation due only to distance from source for a reflective surface:

Table 2: Calculated Background Noise at Monitoring Locations due to Yonge Street Traffic

Location ID	Distance from Source (m)	Calculated Background Noise (dBA)
1	40.5	64.2
2	38.5	64.2
3	36.0	64.2
4	15.0	68.5
5	52.0	63.3
6	58.0	62.5

4. Monitoring Results

Equivalent noise levels (L_{eq}) and peak noise levels at each monitoring location under specified conditions are provided in tabular form below.

Table 3: Noise Monitoring Results

Time	Location	Conditions	Leq (dBA)	Peak (dBC)
11:24 – 11:44	2	Background, Dryer off	63.0	98.4
11:45 – 12:05	3	Background, Dryer off	62.2	101.2
12:06 – 12:26	4	Background, Dryer off	68.1	104.6
12:32 – 12:52	2	Dryer and conveyor on, heat saver doors open	80.8	102.0
12:55 – 13:15	3	Dryer and conveyor on, heat saver doors open	73.2	101.7
13:17 – 13:37	4	Dryer and conveyor on, heat saver doors open	68.4	101.8
13:38 – 13:43	1	Dryer and conveyor on, heat saver doors open	92.1	109.8
13:44 – 13:49	5	Dryer and conveyor on, heat saver doors open	87.8	106.5
13:50 – 13:55	6	Dryer and conveyor on, heat saver doors open	58.5	91.7
13:58 – 14:04	6	Dryer on, heat saver & overhead doors closed	55.7	91.5
14:05 – 14:09	6	Background, Dryer off	56.9	91.7

5. Predicted Impact of Noise Arising from Car Wash

The theoretical impact of sound at a receptor arising from a distant source can be calculated following procedures detailed in CSA Z107.55 Recommended Practice for the Prediction of Sound Levels Received at a Distance from an Industrial Plant. The standard recommends that sound levels be predicted using the following equation:

$$L_p = L_w + DI - DIS - A - \Delta$$

Where: L_p = Sound pressure level at receiving location

L_w = Source sound power level

DI = Directivity Index

DIS = Effect of geometric spreading

A = Atmospheric absorption

Δ = Barrier effect

There are presently no barriers between the exit of the car wash and Yonge Street and the distance is small (<100 m); the impact of atmospheric absorption and the barrier effect are therefore considered negligible. Taking the sound pressure level reading of 92.1 dBA at the entrance to the car wash as equivalent to the source sound power level (L_w) and the sound to have a quarter sphere radiation pattern due to the surface configuration of car wash exit intersecting with the ground gives the following calculation of predicted sound level at Monitoring Locations 2 – 4:

Table 4: Predicted Sound Levels

Receptor Location	L_w	DI	DIS	L_p	Leq
2	92.1	6	21.2	76.9	80.8
3	92.1	6	27.2	70.9	73.2
4	92.1	6	39.3	58.8	68.4

6. Discussion

The measured background noise level at Monitoring Location 4 (68.1 dBA), the closest location to Yonge Street is in good agreement with the value predicted by ORNAMENT (68.5 dBA) using the traffic survey data obtained immediately following noise measurements. The measured background levels of 63.0 and 62.2 dBA at Monitoring Locations 2 and 3 respectively (between the car wash exit and Yonge Street) are also in good agreement with the predicted value of 64.2 dBA for both locations. In contrast, the measured background noise level of 56.9 dBA at Monitoring Location 6 (adjacent to the property line to the north west of the car wash) is significantly lower than the predicted value of 62.5 dBA. The lower measured value suggests that the car wash shields the property line from noise arising from a segment of Yonge Street.

The measured sound levels of 80.8 and 73.2 dBA at Monitoring Locations 2 and 3 respectively are in reasonable agreement with the predicted values of 76.9 and 70.9 dBA respectively. The observed differences may be due to impact of background noise, underestimation of the source power level, and / or underestimation of the directivity index. The car wash design may be expected to give rise to a greater directivity index than predicted.

The measured sound level of 68.4 dBA at Monitoring Location 4 is significantly greater than the predicted value of 58.8 dBA, but consistent with the predicted and measured sound level due to road traffic on Yonge Street indicating that road traffic is the dominant noise source at this location.

The measured sound level at the car wash entrance of 87.8 dBA is below that at the exit (92.1 dBA) as anticipated given that the dryers, considered to be a primary noise source, are located towards the exit of the car wash. The sound level is however significant indicating a strong directivity index at the entrance as well as at the exit of the car wash.

The measured sound level (58.5 dBA) at Monitoring Location 6, at the property line to the north west of the car wash, is greater than the measured background sound level (56.9 dBA) but below the predicted background sound level (62.5 dBA) due to road traffic on Yonge Street. The results suggest that the reduction of noise level due to the screening of road traffic more than off-sets the noise arising from operation of the car wash.

7. Conclusions

The noise emissions from the car wash located on the PetroCanada facility at the junction of Yonge Street and Big Bay Point Road in Barrie have a strong directivity index away from both the entrance and exit of the car wash. Noise levels are highest at the car wash exit however the impact on receptors in the direction of the exit is limited due to high background sound levels arising from road traffic on Yonge Street.

Potential impact on receptors located towards the car wash entrance were not within the scope of this assessment but may be greater than on receptors towards the car wash exit due to the relative impact of Yonge Street road traffic noise.

The car wash provides a net reduction in noise impact at the monitoring location situated at the property line to the north west of the car wash with shielding of road traffic noise more than off-setting the noise arising from operation of the car wash.

We trust the aforementioned meets your immediate requirements.

Yours truly,

Trow Associates Inc.



Bob Jowett, B.Sc., C.E.P.I.T.
Environmental Scientist
Environmental Division



Ron Taylor, M.Sc., C. Chem.
Senior Project Manager
Environmental Division

Since 1957

1595 Clark Boulevard
Brampton, ON
L6T 4V1

Tel: (905) 793-9800
Fax: (905) 793-0641

July 25, 2007

Reference: BAEN00286072A

Mr. Bob MacNeil
MacNeil Wash Systems
423 Welham Road,
Barrie, Ontario L4N 8Y4

**Noise Assessment – 10 & 15 HP Fans
423 Welham Road
Barrie, Ontario**

Buildings

Environment

Geotechnical

Infrastructure

Materials & Quality

Dear Mr. MacNeil:

1. Introduction

At the request of MacNeil Wash Systems (MacNeil), Trow Associates Inc. (Trow) performed a noise assessment of 10 HP and 15 HP car wash dryer fans at 423 Welham Road located in Barrie, Ontario. The assessment was performed on July 6, 10, and 13, 2007.

Trow understands that MacNeil develops and manufactures car wash systems and required a noise assessment of dryer fans to assess impact of baffle and foam insulation on noise produced by the fans. The assessment protocol evaluated the frequency distribution of noise and total noise (A weighting) produced by the fans under client defined operating conditions.

2. Equipment and Assessment Protocol

Noise produced by the fans was measured by a Quest 2900 Integrating Sound Level Meter (S/N CDC030016) equipped with a Quest OB300 filter for measurement of frequency distribution. Measurement of total noise was made using dBA weighting and frequency measurements were made using dB Linear weighting.

The microphone was positioned in an upright position, 1 m above ground level for all measurements. Measurements were made within the MacNeil Wash Systems research and development facility located at 423 Welham Road. Fan location was in the centre of the facility, as far as practicable from all noise reflective surfaces. Extraneous noise within the facility was kept to a minimum during measurement activities. Extraneous noise sources at neighbouring facilities were outside the control of MacNeil and Trow, however Trow considers that such sources generally made minimal contribution to recorded noise values. In instances where

www.trow.com

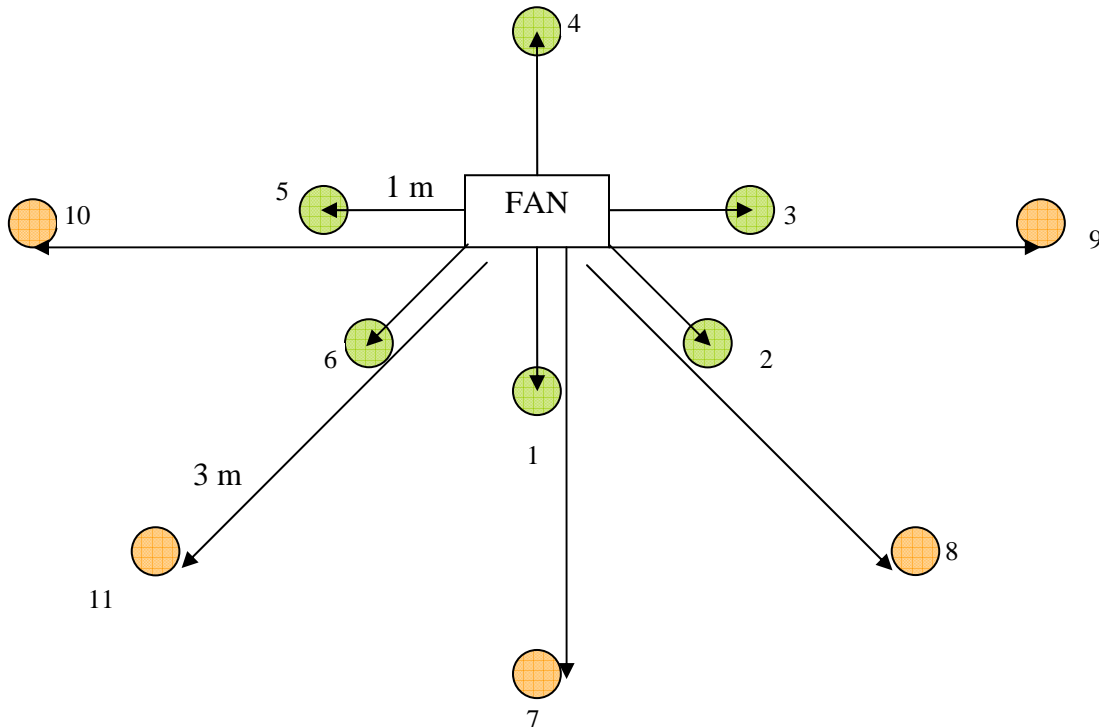
*One Company.
One Contact.
One Stop.*



measurements may have been impacted by extraneous noise sources data has been highlighted. Trow recommends caution when evaluating highlighted data.

Measurements were made in a semi-circle to the front of each fan at distances of 1 m and 3m, with an additional measurement point located 1 m directly behind the fans. See Figure 1 below for measurement locations:

Figure 1. Noise Measuring Point Locations



Measurements of noise produced by 10 HP and 15 HP fans were made under the following operating conditions:

- No attenuation device fitted
- Baffle fitted (no foam), maximum air flow
- Baffle fitted (no foam), minimum air flow
- Baffle with foam insulation fitted, maximum air flow
- Baffle with foam insulation fitted, minimum air flow

Results

Equivalent noise levels (L_{eq}) for each measurement period are provided in tabular form below. Bar charts of significant data are also provided to facilitate evaluation of the impact of noise attenuation due to installation of the baffle, operation of fans at reduced air flow, and installation of foam insulation within the baffle.

Table 1. – Noise Produced by 10 HP Fan with No Attenuation

Measurement Station	Leq (dBA)	Leq 16k Hz (dBL)	Leq 8k Hz (dBL)	Leq 4k Hz (dBL)	Leq 2k Hz (dBL)	Leq 1k Hz (dBL)	Leq 500 Hz (dBL)	Leq 250 Hz (dBL)	Leq 125 Hz (dBL)	Leq 63 Hz (dBL)	Leq 31.5 Hz (dBL)	Leq 16 Hz (dBL)
1	92.2	65.8	76.1	82.3	84.4	86.1	91.3	89.7	83.7	86.4	74.4	73.4
2	89.6	62.9	73.3	78.6	82.2	84.7	87.8	87.2	83.1	84.6	72.2	72.5
3	86.7	57.4	67.8	74	78.8	82.7	85	84.4	82.1	79.5	74.2	71.6
4	87.8	58.7	68.1	75.3	80.3	81.4	85.7	81.9	78.8	84	77.4	74.5
5	90	58	68	75.2	80.6	83.6	85.9	84.6	81.1	78.4	74.5	74.3
6	87.3	62.7	73	78.9	83.1	85.4	87.8	86.5	82.4	83.8	72.4	73.4
7	86.6	58.7	69.2	75	79	81.3	85.6	80.8	80.7	80.8	68.2	66.6
8	85	56.7	67.7	73.7	78	80	82.9	80.8	80.8	79.4	68.8	80.3
9	83.3	52.7	64	70.7	75.8	78.9	81.1	77.9	78.6	79.8	69.2	87.1
10	83.8	53.1	64.3	71.6	77.1	79.2	81.9	77.7	78	76	71.4	71.4
11	86.2	58.5	68.5	75.2	79.6	81.8	83.6	80.2	80.2	78.2	69.2	69.2

Table 2. – Noise Produced by 10 HP Fan with Baffle at Maximum Air Flow (No Foam Insulation)

Measurement Station	Leq (dBA)	Leq 16k Hz (dBL)	Leq 8k Hz (dBL)	Leq 4k Hz (dBL)	Leq 2k Hz (dBL)	Leq 1k Hz (dBL)	Leq 500 Hz (dBL)	Leq 250 Hz (dBL)	Leq 125 Hz (dBL)	Leq 63 Hz (dBL)	Leq 31.5 Hz (dBL)	Leq 16 Hz (dBL)
1	89.2	58	68.4	74.9	81.8	83.6	87.4	87.4	82.8	85.3	72.7	72.2
2	89.2	60.6	71.3	77.3	82.3	84	85.7	87.1	83.2	84.9	74.2	85.4
3	88	58.6	69.4	75.6	80.9	83.2	85.4	84.9	82.4	79.8	77.4	82.7
4	88.5	58.3	68.1	75.2	81.2	83.3	87.3	83.9	79.1	84.4	78.5	74.4
5	89.1	59.4	70	76.7	82.5	84.5	86.4	85.6	81.5	79.3	76.7	74.4
6	89.2	60.2	70.9	77.4	82.9	84	85.8	87.1	82.7	84.2	74.2	73.5
7	84.9	53.8	64.4	71.2	77.5	80.6	82.1	82	80.8	80.6	70.3	73.5
8	84.3	54.3	65.2	72.2	78.5	79.5	80.8	80.6	80.6	78.9	69.3	67.6
9	84.1	54.1	65.5	72	77.1	81.2	81.2	78.4	76.3	77.8	69.8	68.1
10	84.8	54.4	65.6	72.7	78.6	79.9	81.8	79.4	76.9	77	74.2	73.4
11	85	55.2	66.3	73.3	79.4	81.3	81.2	81.6	80.9	80	71.5	80.9

Table 3. – Noise Produced by 10 HP Fan with Baffle at Minimum Air Flow (No Foam Insulation)

Measurement Station	Leq (dBA)	Leq 16k Hz (dBL)	Leq 8k Hz (dBL)	Leq 4k Hz (dBL)	Leq 2k Hz (dBL)	Leq 1k Hz (dBL)	Leq 500 Hz (dBL)	Leq 250 Hz (dBL)	Leq 125 Hz (dBL)	Leq 63 Hz (dBL)	Leq 31.5 Hz (dBL)	Leq 16 Hz (dBL)
1	84.9	63.6	74.1	78	77.5	78.7	79.8	82.4	79.6	82.9	79.7	79
2	86.4	68.3	77.9	80.6	77.9	78.5	80	83.7	82.5	85.5	81.6	80.4
3	83.7	59.7	71.5	74	75.4	78.5	80	83.1	78.7	83.9	87.1	87.3
4	84.2	56.6	67.2	72.7	75.7	79.4	83.9	82.2	78.3	86.7	88.2	70.3
5	84.8	61.2	71	75.2	76.5	78.7	81.5	84.1	77	81.7	84.3	71.1
6	86.8	67.8	77.7	81.5	78.6	78	80.4	82.3	78.7	82.5	80.7	75.6
7	81.2	59.7	69.5	73.7	73.6	75.1	76.8	77.7	79.3	83.2	78.2	71.6
8	81.6	61	71.3	75	73.9	74.7	75.7	76.5	77.4	80.1	76.9	69.4
9	80.4	57.7	67.2	71.4	72.5	74.7	77	74.7	75.4	81.9	80.4	71.9
10	81.1	58.3	67.7	72.4	73.3	75.3	78.2	74.9	73.4	81.3	82.4	70.5
11	82.4	61.7	71.8	76.2	74.5	75.1	75.9	77.4	78.8	81.7	78.9	67.7

Table 4. – Noise Produced by 10 HP Fan with Baffle and Foam Insulation at Maximum Air Flow

Measurement Station	Leq (dBA)	Leq 16k Hz (dBL)	Leq 8k Hz (dBL)	Leq 4k Hz (dBL)	Leq 2k Hz (dBL)	Leq 1k Hz (dBL)	Leq 500 Hz (dBL)	Leq 250 Hz (dBL)	Leq 125 Hz (dBL)	Leq 63 Hz (dBL)	Leq 31.5 Hz (dBL)	Leq 16 Hz (dBL)
1	87.9	55.2	65.7	73.3	79	82.4	87.1	87.8	82.9	85.2	75	73.1
2	88.4	57	68	75.4	80.3	83.7	85.6	88	83.5	84.8	74.1	71
3	87.2	56.8	67.4	73.9	79.5	82.8	84.6	85.2	81.6	79.4	77.9	86.3
4	88	57.2	66.9	74.2	79.6	82	87.4	83.2	78.5	84.1	79.1	75.8
5	88.2	59.3	67.8	74.9	80.9	83.7	85.6	85.3	81.5	78.3	76	73.1
6	88.1	56.6	67.8	75.7	80.7	83	85.5	87.1	82.6	84.2	74.7	72.3
7	83.6	51.4	67.6	70.1	75.6	79	81.7	82.1	80.5	80.6	71.2	67.3
8	83.4	56.2	62.6	70.9	76.7	79.1	80.5	81	80.3	79	68.8	63.9
9	83	51.6	63.8	70.1	75.6	78.3	80.1	78.4	76.7	78.7	71.3	66.3
10	84.2	51.8	63.9	71.2	76.9	79.2	81.6	79.3	77.2	76.9	72.7	68.2
11	84.3	52.2	63.9	71.6	77.6	79.6	80.9	80.7	80.7	80	70.7	66.8

Table 5. – Noise Produced by 10 HP Fan with Baffle and Foam Insulation at Minimum Air Flow

Measurement Station	Leq (dBA)	Leq 16k Hz (dBL)	Leq 8k Hz (dBL)	Leq 4k Hz (dBL)	Leq 2k Hz (dBL)	Leq 1k Hz (dBL)	Leq 500 Hz (dBL)	Leq 250 Hz (dBL)	Leq 125 Hz (dBL)	Leq 63 Hz (dBL)	Leq 31.5 Hz (dBL)	Leq 16 Hz (dBL)
1	84.9	62.5	72.7	77	76.4	77.4	79.5	82.3	78.7	82.8	80	70.1
2	86.6	67.9	77.4	80.5	77.6	78.1	80	83.5	82.3	86.2	81.8	77.7
3	83.3	59.6	69	73.1	74.7	78	79.4	82.9	79.4	84.2	84.4	78.9
4	84.2	55.3	65.9	71.7	74.7	78.6	84.5	82.9	77.9	86.6	86.7	69.7
5	84.4	62.2	69.8	74.5	75.9	78.6	81.8	84.5	77.7	82.2	84.7	69
6	86.3	67.1	77.2	80.8	77.9	77.3	80.1	82	79.1	83.2	80.5	64.3
7	80.8	58.8	68.2	72.8	72.6	74	76.4	75.5	79.9	83.6	77.8	62.1
8	81.2	60.2	70.3	75	73.7	74.3	75.9	77.9	77.3	79.7	78.2	70.8
9	79.5	56.6	66.4	71.1	71.6	74	75.8	75.6	72.6	79.6	79.5	66.2
10	80.8	58.2	67.2	72.3	73	75.5	78.4	74.4	73.4	80.6	83.3	70.4
11	82	61.3	71.5	76.6	74.3	74.7	75.9	78	76.7	79.6	79.9	66.6

Table 6. – Noise Produced by 15 HP Fan with No Attenuation

Measurement Station	Leq (dBA)	Leq 16k Hz (dBL)	Leq 8k Hz (dBL)	Leq 4k Hz (dBL)	Leq 2k Hz (dBL)	Leq 1k Hz (dBL)	Leq 500 Hz (dBL)	Leq 250 Hz (dBL)	Leq 125 Hz (dBL)	Leq 63 Hz (dBL)	Leq 31.5 Hz (dBL)	Leq 16 Hz (dBL)
1	95.8	66.2	76.6	82.4	85.7	89.6	96.2	92.5	83.6	86.1	74.1	68
2	94.5	64.2	75.2	80.8	84.6	87.5	93.1	89.7	83.9	85.1	73.1	67
3	92.6	61.7	71.6	78.5	83.9	87.2	90.8	87.9	85.4	81.3	77.2	72.2
4	92.6	62.8	72.8	79.2	84.4	87.1	92	84.2	84.4	86.1	79.4	72.8
5	92.9	61.4	72.2	79.7	85.4	87.6	91.6	88.2	84.6	82.7	74.5	69.4
6	95.5	66.1	76	82.1	86.5	90.6	94.1	90.9	84.2	85.7	74.1	68.9
7	89.9	60	70.9	77.6	81.4	84.6	89.4	83.5	81.3	81.6	70.6	63.6
8	89.4	59	70.8	77	81.1	84.3	87.7	82.8	81.8	81.1	72.2	68.9
9	89.2	55.3	67.4	74.8	79.9	84.1	87.4	81.3	80.4	78.6	71	63.1
10	89	56.2	68	75.7	80.7	84.5	87.5	81.3	80.5	77.8	73.1	69.2
11	90.3	60.1	71	77.7	82.3	86.1	87.9	82.4	82.5	81.4	71.8	64.2

Table 7. – Noise Produced by 15 HP Fan with Baffle at Maximum Air Flow (No Foam Insulation)

Measurement Station	Leq (dBA)	Leq 16k Hz (dBL)	Leq 8k Hz (dBL)	Leq 4k Hz (dBL)	Leq 2k Hz (dBL)	Leq 1k Hz (dBL)	Leq 500 Hz (dBL)	Leq 250 Hz (dBL)	Leq 125 Hz (dBL)	Leq 63 Hz (dBL)	Leq 31.5 Hz (dBL)	Leq 16 Hz (dBL)
1	93.4	60.6	71.8	79.5	84.4	88.3	93.6	90.8	83.9	85.8	74.3	68.2
2	92.7	63	74.8	81.1	85.4	87.3	91.3	89.4	84.5	85.4	75	69.7
3	92.9	63.3	73.4	80.3	85.6	87.2	89.9	88.4	85.1	82.1	77.9	72.6
4	92.6	62.7	72.5	79.2	84.9	87.6	92.3	85.1	83.8	85.9	79.7	74.7
5	93.3	63.1	73.9	80.9	86	87.6	91.5	88.6	84.6	82.8	77.3	74.2
6	93.8	62.3	73.9	81	86.1	88.2	92.2	89.1	84.2	85.9	74.4	69.6
7	89.4	56.1	67.7	75.6	81	84.8	87.9	83.6	81.6	83	76	63.1
8	89	57.4	68.9	76.3	81.2	83.6	86	82.5	81.6	82	70.7	66.9
9	89.2	56.8	68.4	75.8	80.9	84	87.7	81.8	80.1	78.5	72.7	68.1
10	90	58	69	76.5	81.5	84.4	87.9	81.2	80.4	78.9	73.7	67.8
11	89.1	57.5	69.1	76.7	81.6	84	87.1	82.4	82.6	81.4	71.4	67.9

Table 8. – Noise Produced by 10 HP Fan with Baffle at Minimum Air Flow (No Foam Insulation)

Measurement Station	Leq (dBA)	Leq 16k Hz (dBL)	Leq 8k Hz (dBL)	Leq 4k Hz (dBL)	Leq 2k Hz (dBL)	Leq 1k Hz (dBL)	Leq 500 Hz (dBL)	Leq 250 Hz (dBL)	Leq 125 Hz (dBL)	Leq 63 Hz (dBL)	Leq 31.5 Hz (dBL)	Leq 16 Hz (dBL)
1	89.2	67.1	78.4	81.4	80.4	80.9	81.9	84.6	83	81.2	75.8	71.1
2	91.1	70.9	81.8	84.7	81.4	81.9	82.6	86.3	82.1	80.6	76.9	66.3
3	88.3	65.2	75.6	79.1	79.3	82.7	82.8	86.8	79.8	81	80.6	69.3
4	88	60.6	71.9	76.6	78.9	83.3	83.7	85.5	80.5	87.5	84.3	71.5
5	88.3	67.9	76.9	79.8	79.2	80.8	83.6	85.6	80.8	80.5	79.3	70.1
6	91.3	71.5	82.4	85.4	81	80.7	83.5	86	83	81.4	76.8	64.3
7	85.8	62.4	74	77.8	76.7	77.9	79.7	78.7	81.5	79.2	74	62.7
8	86.4	64.7	75.8	79.6	77.2	78.3	79.1	79.5	78.2	78.5	74	62.9
9	85.1	61	71.9	76	76.5	79.1	79.9	78.5	76.7	82	78.4	68.9
10	84.8	61.9	72.4	76.2	75.9	78.6	80.4	78.8	77.8	80.8	78.5	66.1
11	86.1	64.6	76	79.4	77.3	78	78.5	78.9	81.6	79.8	75.3	66.1

Table 9. – Noise Produced by 15 HP Fan with Baffle and Foam Insulation at Maximum Air Flow

Measurement Station	Leq (dBA)	Leq 16k Hz (dBL)	Leq 8k Hz (dBL)	Leq 4k Hz (dBL)	Leq 2k Hz (dBL)	Leq 1k Hz (dBL)	Leq 500 Hz (dBL)	Leq 250 Hz (dBL)	Leq 125 Hz (dBL)	Leq 63 Hz (dBL)	Leq 31.5 Hz (dBL)	Leq 16 Hz (dBL)
1	92.2	58.7	69.7	77.8	82.3	86.5	93.1	90.7	84.3	86.5	74.5	71.7
2	91.5	60.6	73.4	79.5	83.5	86.7	90.5	89.1	84.4	85.4	75	70.6
3	91.6	61.8	71.8	78.6	84.6	86.9	89.5	88.5	84.7	81.8	76	71.9
4	92.1	62.2	71.9	78.2	83.3	86.8	92.3	84.4	84	86.2	79.1	75.1
5	92.3	61.5	72.2	79.6	84.8	87.1	90.9	88.2	84.3	82.6	75	73
6	92.3	59.7	71.6	79.3	83.6	86.6	91.4	89.3	84	85.6	74	68.7
7	88.1	54.4	65.9	74.3	79.3	83.3	88.2	83.6	81.7	82.1	70	64.6
8	87.2	55.5	67.6	74.8	79.8	83.1	86.3	82.7	81.9	81.9	71.7	70.8
9	88.2	55.6	66.9	74.4	80	83.6	87.5	81.6	79.6	79	72.4	72.5
10	88.5	56	67.6	75	80.2	84	88.3	81.1	80	78.6	73.2	73.5
11	87.6	55.3	67.4	75.1	80	82.7	86.1	82	82.3	81.6	70.5	63.5

Table 10. – Noise Produced by 15 HP Fan with Baffle and Foam Insulation at Minimum Air Flow

Measurement Station	Leq (dBA)	Leq 16k Hz (dBL)	Leq 8k Hz (dBL)	Leq 4k Hz (dBL)	Leq 2k Hz (dBL)	Leq 1k Hz (dBL)	Leq 500 Hz (dBL)	Leq 250 Hz (dBL)	Leq 125 Hz (dBL)	Leq 63 Hz (dBL)	Leq 31.5 Hz (dBL)	Leq 16 Hz (dBL)
1	87.1	65.9	77.3	80.5	79.5	80.1	81.2	84.5	82.9	81	75.7	69.4
2	89.3	69.9	80.7	83.8	80.5	81.7	82.2	85.9	81.8	80.3	77.1	72.5
3	87.3	63.7	74.2	77.9	78.5	83	82.7	86.1	79.6	80.7	80.4	72.2
4	86.8	58.8	70.4	75.5	78.6	82.5	84.2	84.2	80.5	86.7	84.5	69.2
5	86.8	66.3	75.2	78.4	78.6	80.4	83.2	85.3	80.3	79.8	79.3	69.7
6	89.1	70.2	80.8	83.9	79.8	80.4	83	85.7	82.3	81.1	77	68.7
7	84.4	61.2	72.7	76.8	75.9	77.5	80	78.6	81	78.8	74	65.7
8	83.7	63	74.7	78.5	76.4	78.1	78.5	79.4	78.4	78.1	74	73.5
9	83.7	59.3	70.7	74.9	80.5	79.1	80.2	77.9	77.3	82.1	77.8	72.2
10	83.3	60.7	71.5	75.2	75.4	78.3	80.2	78	78.1	80.9	78.1	72.2
11	84.6	63.3	74.9	78.8	76.4	77.8	79.1	78.1	81.3	79.5	75.6	66.2

Figure 2. Sound Pressure Levels Produced by 10HP Fan

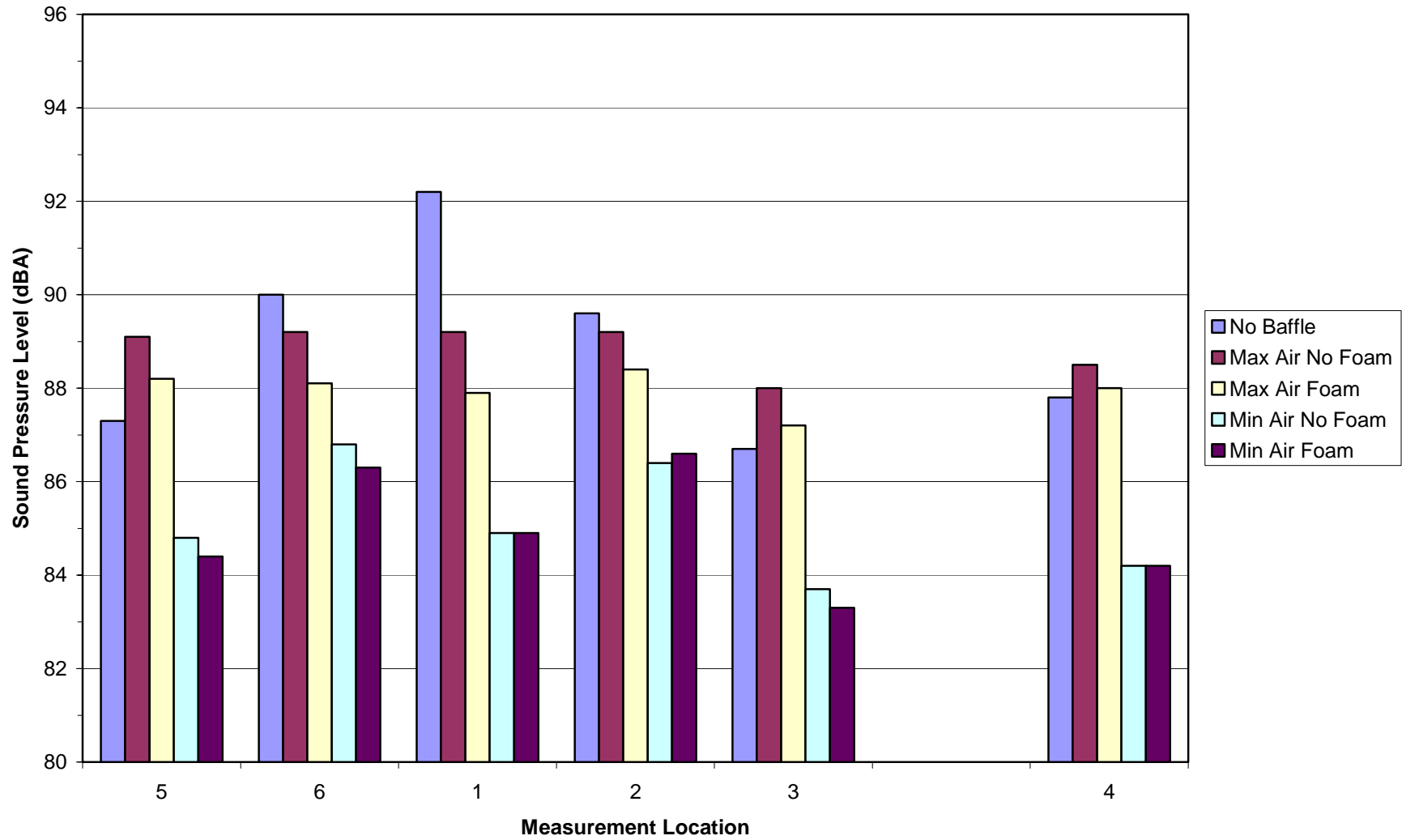


Figure 3. Sound Pressure Levels Produced by 15HP Fan

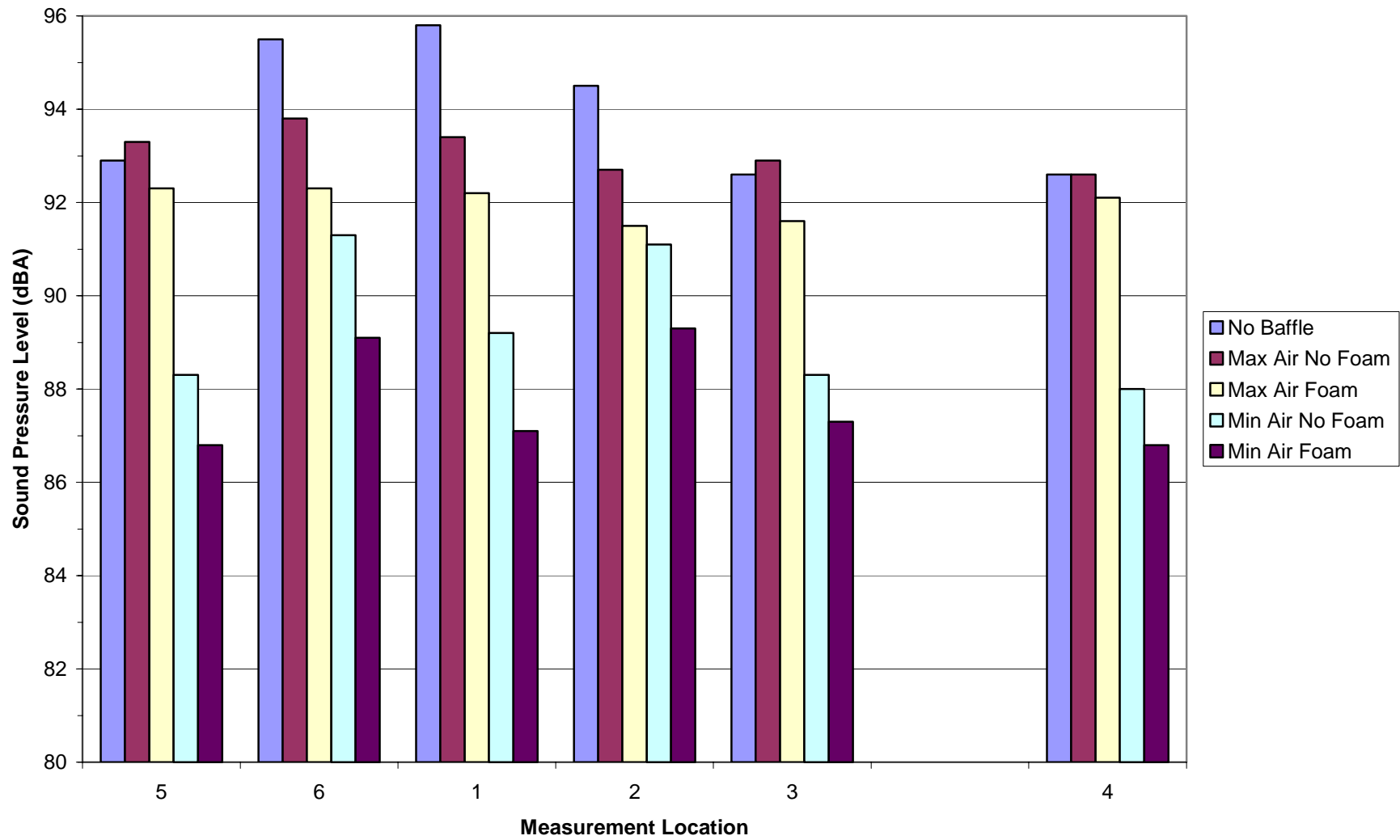


Figure 4. 10HP Fan Maximum Air Flow with Baffle. Frequency Distribution at 1m

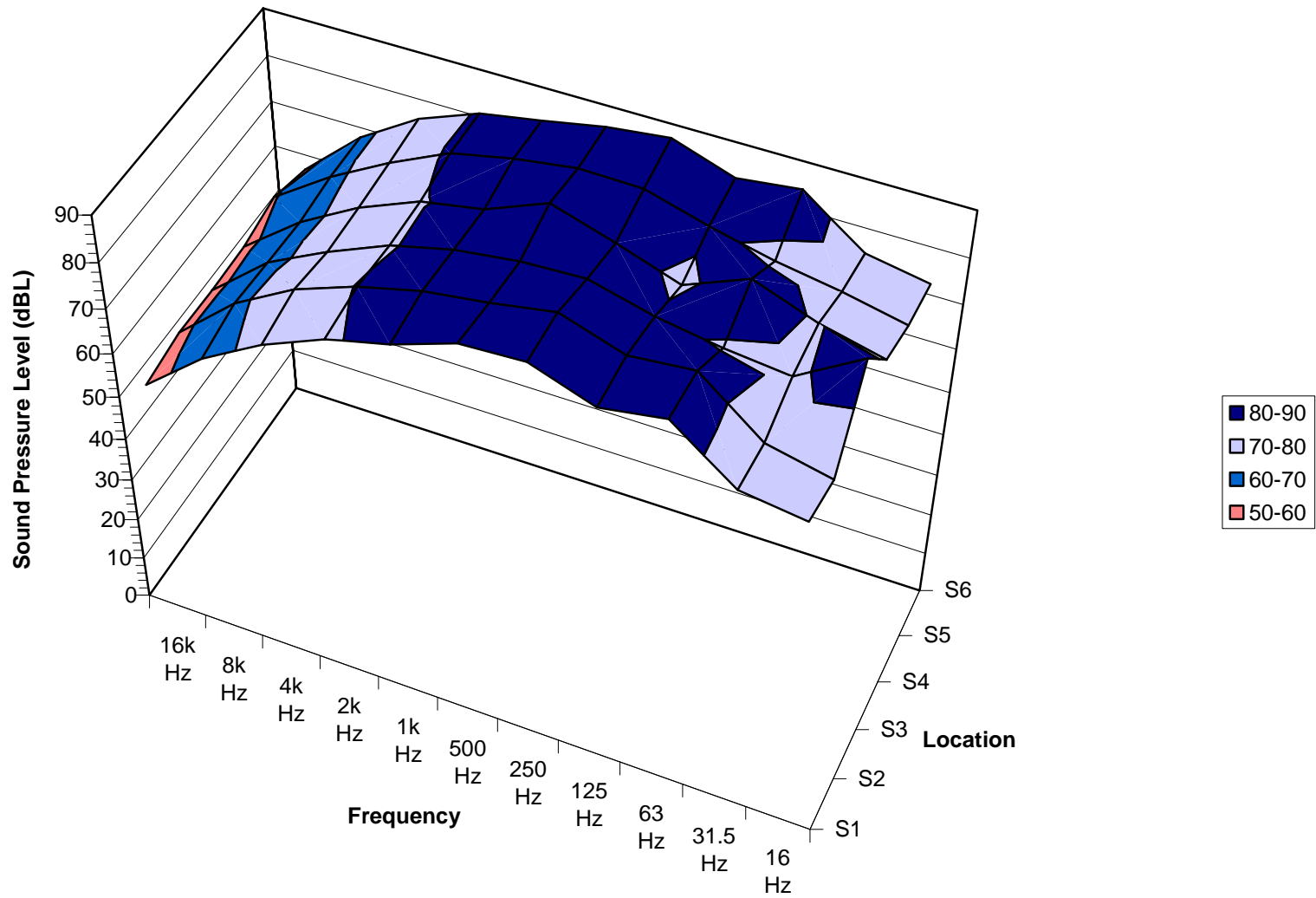


Figure 5. Change in Sound Pressure Level with Frequency on Installation of Baffle to 10HP Fan

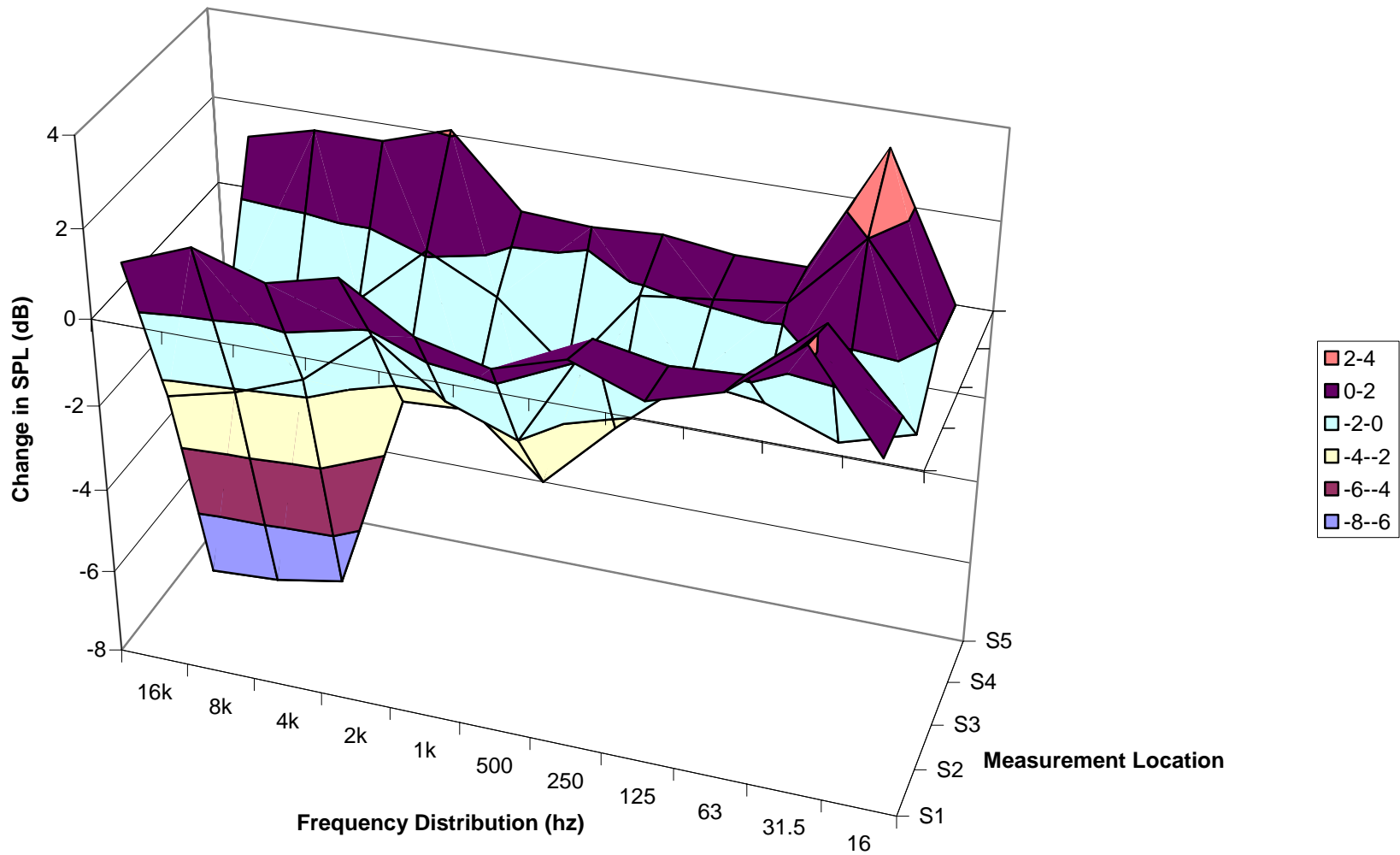


Figure 6. Change in Sound Pressure Level with Frequency on Installation of Baffle to 15HP Fan

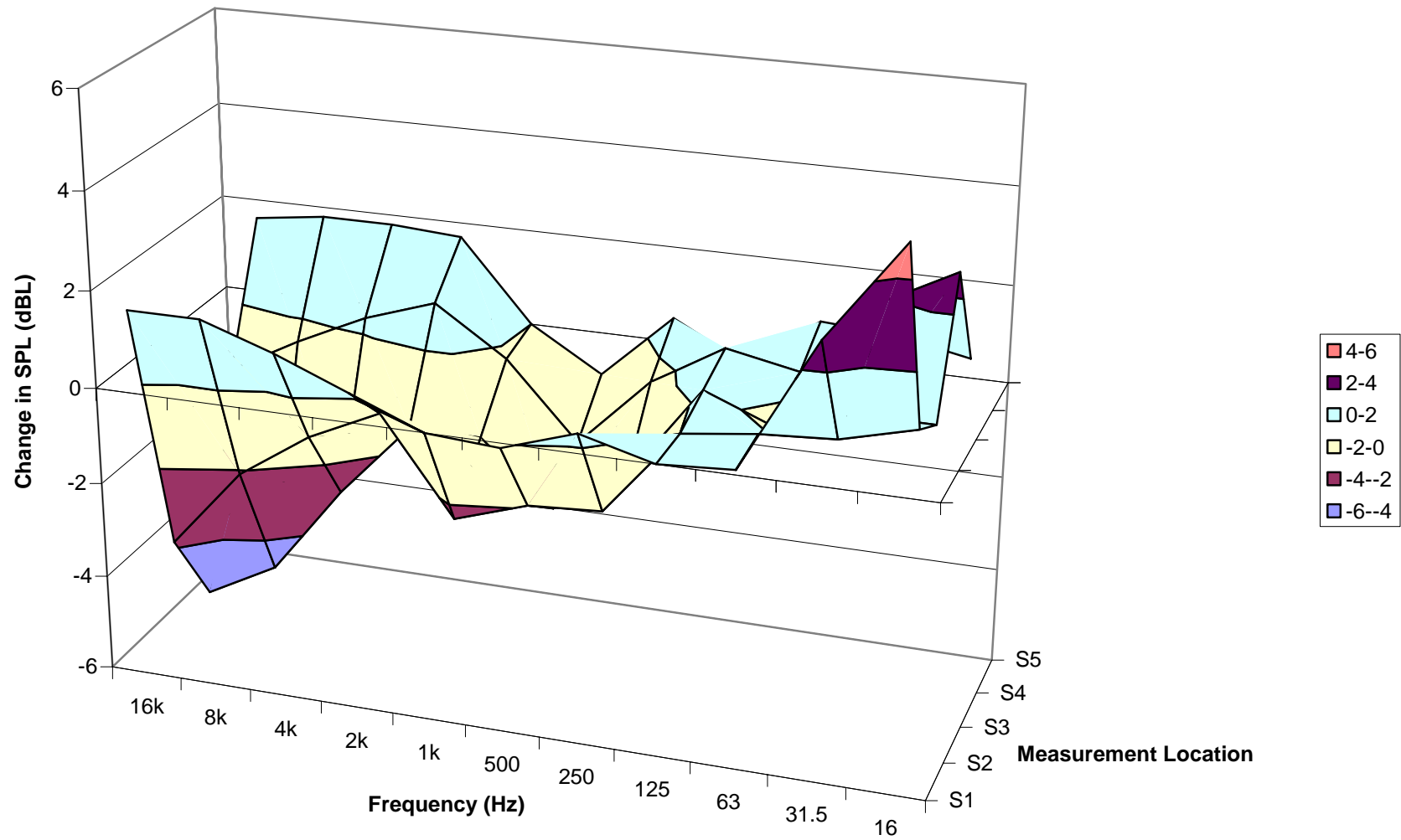


Figure 7. Change in SPL with Frequency on Installation of Baffle and Foam to 15HP Fan (Max Air Flow)

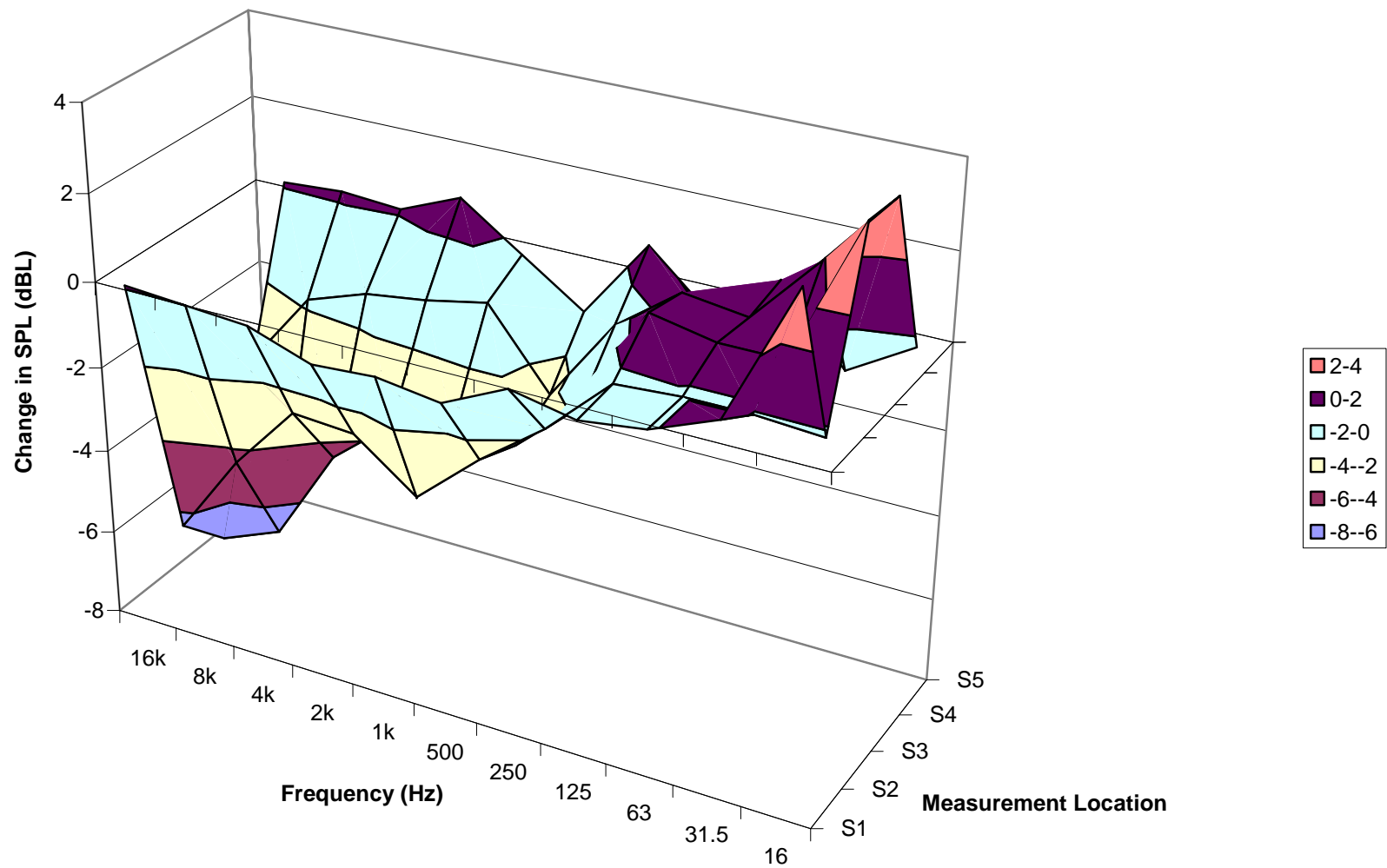
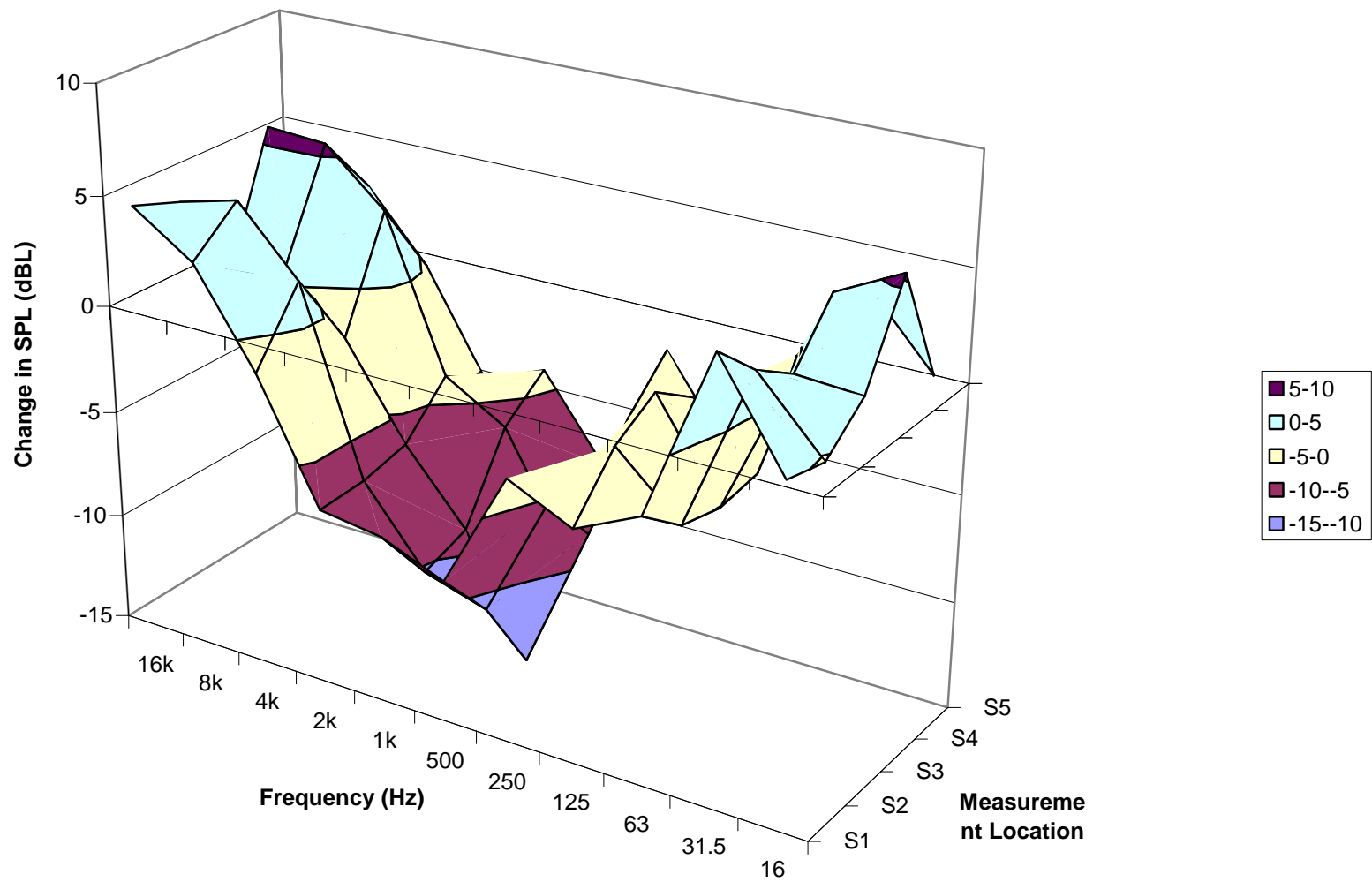


Figure 8. Change in SPL with Frequency on Installation of Baffle with Foam to 15HP Fan and Operation at Minimum Flow



5. Comments

Sound pressure levels are anticipated to decrease by 3 dB with a doubling of distance from the source. Measurements were taken 1 m and 3 m from each fan under each chosen operating condition, the anticipated decrease in sound pressure level at 3 m from source in comparison to 1 m from source is 4.8 dB. Recorded decreases in sound pressure level were, on average, in the range of 4.5 to 5.2 dB showing good agreement with theoretical sound attenuation with distance. Trow concludes that interference due to sound reflection, extraneous noise sources, etc. were maintained at acceptable level during the measurement periods.

Attenuation of Sound by Baffle at Maximum Air Flow

Installation of the baffle whilst operating the 10 HP and 15 HP fans at maximum air flow rate resulted in a change in the directional distribution of the sound emitted from the fans. Sound pressure levels directly in front of the fans were reduced by 2 – 3 dB. Conversely, sound pressure levels at 180° to the fans increased by 0 – 2 dB. (See Figures 2 and 3).

Attenuation of Sound by Baffle at Minimum Air Flow

Operation of the baffle at minimum flow resulted in a further change in the directional distribution of sound emitted from the fans, with maxima values being recorded at 45° to the face of the fans. Sound pressure levels at all measurement locations were reduced by 2 – 5 dB by operating at minimum air flow in comparison to operating without the baffle or with the baffle at maximum air flow. (See Figures 2 and 3).

Attenuation of Sound by Foam Insulation

Introduction of foam insulation into the baffle resulted in a decrease in measured sound pressure level by <2dB under the majority of operating conditions for both the 10HP and 15HP fans. (See Figures 2 and 3).

Sound Pressure Level Frequency Distribution

The frequency distribution for the 10HP fan operating at maximum air flow with baffle is shown in Figure 4. Under all operating conditions the sound pressure level frequency distribution showed maxima at central frequency ranges (e.g. 250 – 1000 hertz), however operating parameters were shown to impact on frequency distribution. Installation of baffles to the 10HP and 15HP fans (see Figures 5 and 6) resulted in:

- a 4 – 8 dB reduction in high and mid frequency (250 – 16,000 Hz) sound pressure levels in front of the fans;
- a 0 – 2 dB increase in high frequency sound pressure levels at 180° to the fans;
- minimal impact on low frequency (16 – 125 Hz) sound pressure levels in front of the fans; and,
- a 0 – 4 dB increase in low frequency sound pressure levels at 180° to the fans.

Reduction of air flow (see Figures 7 and 8) resulted in:

- a decrease in mid frequency (250 – 2,000 Hz) sound pressure levels at all measurement locations;
- minimal impact on low and high frequency sound pressure levels in front of the fans;
- a 0 – 6 dB increase in low and high frequency sound pressure levels at an angle of 45° to the fan orientation; and,
- a 0 – 5 dB increase in low and high frequency sound pressure levels at 180° to the fans.

The redistribution of sound pressure level frequencies has the potential to impact on perception of noise nuisance through fan operation. Increased reduction of high frequencies as observed on installation of baffle (with or without foam insulation) is likely to reduce perceived nuisance as high frequency noise is considered more obtrusive. Any increases in low frequency sound pressure levels (e.g. during operation of baffles at minimum air flow) may increase the area of impact of any noise nuisance as low frequency sound travels further and is more difficult to attenuate than high frequency sound.

Conclusions

The above measurements provide a fundamental understanding of noise generated by 10HP and 15HP car dryer fans operating under controlled conditions.

Trow understands that car dryer fans are operated in banks of 6 – 18 within car wash units. Theory predicts that sound pressure levels will increase by 3 dB on doubling of noise source, e.g. two 15HP fans each generating a sound pressure level of 90 dB would provide a combined sound pressure level of 93 dB, four fans would provide 96 dB etc. Other factors can impact on predicted noise generation, resonance can increase noise impact whilst sound adsorbing materials may provide attenuation. Vibration is also a consideration.

Trow strongly recommends that in situ sound measurements be made to assess noise impact of car dryer fans installed within a car wash system. In situ measurements should consider appropriate receptors including, but not necessarily limited to, occupational noise and environmental receptors as well as car wash operation and design.

We trust the aforementioned meets your immediate requirements. If you have any questions, concerns or if we can be of any further assistance, please do not hesitate to contact the undersigned at your earliest convenience.

Yours truly,

Trow Associates Inc.



Bob Jowett, B.Sc., C.E.P.I.T.
Environmental Scientist
Environmental Division



Ron Taylor, M.Sc., C. Chem.
Senior Project Manager
Environmental Division



SOUND LEVEL METER READINGS

MODEL: FT-DD-T450HP4 (50hp T4 VACSTAR TURBINE VACUUM PRODUCER)

READING ONE: 73 DB-A, 3 FEET FROM TURBINE @ 45° ANGLE
AND NO BACKGROUND NOISE OR OUTSIDE INTERFERENCE.

READING TWO: 69 DB-A, 10 FEET FROM TURBINE @ 45° ANGLE
AND NO BACKGROUND NOISE OR OUTSIDE INTERFERENCE.

READING THREE: 54 DB-A, 20 FEET FROM TURBINE @ 45° ANGLE
AND NO BACKGROUND NOISE OR OUTSIDE INTERFERENCE.

READING FOUR: 38 DB-A, 30 FEET FROM TURBINE @ 45° ANGLE
AND NO BACKGROUND NOISE OR OUTSIDE INTERFERENCE.

NOTE: THESE READINGS WERE TAKEN OUTSIDE IN THE OPEN ON A CONCRETE SLAB.

SOUND LEVEL METER USED:

SIMPSON MODEL #40003 – MSHA APPROVED.
MEETS OSHA & WALSH-HEALY REQUIREMENTS FOR NOISE CONTROL.
CONFORMS TO ANSI S1.4-1983, IEC 651 SPECS FOR METER TYPE.

Vacutech
1350 Hi-Tech Drive, Sheridan WY, 82801
PHONE: (800) 917-9444 FAX: (303) 675-1988
EMAIL: info@vacutechllc
WEB SITE: vacutechllc.com

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A SELF SERVICE CAR WASH ON A 0.89-ACRE TRACT OF LAND, IDENTIFIED AS A PORTION OF LOT 2, BLOCK A, DALTON GOLIAD ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Lisa White of Boing US HoldCo, Inc. on behalf of Donald L. Silverman of Rockwall 205-552, LLC for the approval of a Specific Use Permit (SUP) for a *Self Service Car Wash* on a 0.89-acre tract of land, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N SH-205 OV) District, being identified as a portion of Lot 2, Block A of the Dalton Goliad Addition, City of Rockwall, Rockwall County, Texas, addressed as 3611 N. Goliad Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for the establishment of a *Self Service Car Wash* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code [Ordinance No. 20-02] on the *Subject Property*, and

SECTION 2. That the *Subject Property* shall be subject to the requirements set forth in Subsection 02.03(H)(4), *Car Wash (Full-Service or Self-Service)*, of Article 04, *Permissible Uses*; Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development*

Standards; and Subsection 06.11, *North SH-205 Overlay (N SH-205 OV) District*, of Article 05, *District Development Standards*, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall -- as heretofore amended and as my be amended in the future -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of the *Self Service Car Wash* land use on the *Subject Property* and conformance to these conditions is necessary for continued operations:

- (1) The *Self Service Car Wash* facility shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* and the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance;
- (2) No outside display of merchandise or outside storage (e.g. *ice machine, propane cage, vending machines, and DVD rental kiosk*) shall be allowed on the *subject property*; with the exception of vending machines that are integrated into the façade of the building.
- (3) Additional landscaping (i.e. *trees and shrubs*) shall be required adjacent to the vacuum bays to provide additional sound attenuation for the residential subdivision north of the *subject property*; and
- (4) The exit tunnel of the *Self Service Car Wash* facility shall be screened from N. Goliad Street [i.e. *SH-205*] utilizing landscape screening (e.g. *trees, pampas grass, etc.*) and a berm.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should any business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or

provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 1ST DAY OF MARCH, 2021.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: February 16, 2021

2nd Reading: March 1, 2021

Exhibit 'A'
Legal Description and Location Map

Legal Description: Lot 2, Block A, Dalton Goliad Addition
Address: 3611 N. Goliad Street



Exhibit 'C'
Building Elevations

PLOT DATE: 2/7/2025 TIME: 6:45 PM

WEST ELEVATION
2/7/25

EAST ELEVATION
2/7/25

NAME	MANUFACTURER	MANUFACTURE	FINISH	REMARKS
CM-1	CONCRETE MASONRY UNIT	8 IN. CMU	CONCRETE	INTERIOR FINISHES FOR INTERIOR
CM-2	CONCRETE MASONRY UNIT	8 IN. CMU	CONCRETE	INTERIOR FINISHES FOR INTERIOR
CM-3	CONCRETE MASONRY UNIT	8 IN. CMU	CONCRETE	INTERIOR FINISHES FOR INTERIOR
CM-4	CONCRETE MASONRY UNIT	8 IN. CMU	CONCRETE	INTERIOR FINISHES FOR INTERIOR
CM-5	CONCRETE MASONRY UNIT	8 IN. CMU	CONCRETE	INTERIOR FINISHES FOR INTERIOR
CM-6	CONCRETE MASONRY UNIT	8 IN. CMU	CONCRETE	INTERIOR FINISHES FOR INTERIOR
CM-7	CONCRETE MASONRY UNIT	8 IN. CMU	CONCRETE	INTERIOR FINISHES FOR INTERIOR
CM-8	CONCRETE MASONRY UNIT	8 IN. CMU	CONCRETE	INTERIOR FINISHES FOR INTERIOR
CM-9	CONCRETE MASONRY UNIT	8 IN. CMU	CONCRETE	INTERIOR FINISHES FOR INTERIOR
CM-10	CONCRETE MASONRY UNIT	8 IN. CMU	CONCRETE	INTERIOR FINISHES FOR INTERIOR
CM-11	CONCRETE MASONRY UNIT	8 IN. CMU	CONCRETE	INTERIOR FINISHES FOR INTERIOR
CM-12	CONCRETE MASONRY UNIT	8 IN. CMU	CONCRETE	INTERIOR FINISHES FOR INTERIOR
CM-13	CONCRETE MASONRY UNIT	8 IN. CMU	CONCRETE	INTERIOR FINISHES FOR INTERIOR
CM-14	CONCRETE MASONRY UNIT	8 IN. CMU	CONCRETE	INTERIOR FINISHES FOR INTERIOR
CM-15	CONCRETE MASONRY UNIT	8 IN. CMU	CONCRETE	INTERIOR FINISHES FOR INTERIOR
CM-16	CONCRETE MASONRY UNIT	8 IN. CMU	CONCRETE	INTERIOR FINISHES FOR INTERIOR
CM-17	CONCRETE MASONRY UNIT	8 IN. CMU	CONCRETE	INTERIOR FINISHES FOR INTERIOR
CM-18	CONCRETE MASONRY UNIT	8 IN. CMU	CONCRETE	INTERIOR FINISHES FOR INTERIOR
CM-19	CONCRETE MASONRY UNIT	8 IN. CMU	CONCRETE	INTERIOR FINISHES FOR INTERIOR
CM-20	CONCRETE MASONRY UNIT	8 IN. CMU	CONCRETE	INTERIOR FINISHES FOR INTERIOR
CM-21	CONCRETE MASONRY UNIT	8 IN. CMU	CONCRETE	INTERIOR FINISHES FOR INTERIOR
CM-22	CONCRETE MASONRY UNIT	8 IN. CMU	CONCRETE	INTERIOR FINISHES FOR INTERIOR
CM-23	CONCRETE MASONRY UNIT	8 IN. CMU	CONCRETE	INTERIOR FINISHES FOR INTERIOR
CM-24	CONCRETE MASONRY UNIT	8 IN. CMU	CONCRETE	INTERIOR FINISHES FOR INTERIOR
CM-25	CONCRETE MASONRY UNIT	8 IN. CMU	CONCRETE	INTERIOR FINISHES FOR INTERIOR
CM-26	CONCRETE MASONRY UNIT	8 IN. CMU	CONCRETE	INTERIOR FINISHES FOR INTERIOR
CM-27	CONCRETE MASONRY UNIT	8 IN. CMU	CONCRETE	INTERIOR FINISHES FOR INTERIOR
CM-28	CONCRETE MASONRY UNIT	8 IN. CMU	CONCRETE	INTERIOR FINISHES FOR INTERIOR
CM-29	CONCRETE MASONRY UNIT	8 IN. CMU	CONCRETE	INTERIOR FINISHES FOR INTERIOR
CM-30	CONCRETE MASONRY UNIT	8 IN. CMU	CONCRETE	INTERIOR FINISHES FOR INTERIOR

KEYNOTES

1. CONCRETE MASONRY UNIT FINISHES SHALL BE AS SHOWN.
2. INTERIOR LIGHT FIXTURES SHALL BE AS SHOWN.
3. INTERIOR LIGHT FIXTURES SHALL BE AS SHOWN.
4. INTERIOR LIGHT FIXTURES SHALL BE AS SHOWN.
5. INTERIOR LIGHT FIXTURES SHALL BE AS SHOWN.
6. INTERIOR LIGHT FIXTURES SHALL BE AS SHOWN.
7. INTERIOR LIGHT FIXTURES SHALL BE AS SHOWN.
8. INTERIOR LIGHT FIXTURES SHALL BE AS SHOWN.
9. INTERIOR LIGHT FIXTURES SHALL BE AS SHOWN.
10. INTERIOR LIGHT FIXTURES SHALL BE AS SHOWN.
11. INTERIOR LIGHT FIXTURES SHALL BE AS SHOWN.
12. INTERIOR LIGHT FIXTURES SHALL BE AS SHOWN.
13. INTERIOR LIGHT FIXTURES SHALL BE AS SHOWN.
14. INTERIOR LIGHT FIXTURES SHALL BE AS SHOWN.
15. INTERIOR LIGHT FIXTURES SHALL BE AS SHOWN.
16. INTERIOR LIGHT FIXTURES SHALL BE AS SHOWN.
17. INTERIOR LIGHT FIXTURES SHALL BE AS SHOWN.
18. INTERIOR LIGHT FIXTURES SHALL BE AS SHOWN.
19. INTERIOR LIGHT FIXTURES SHALL BE AS SHOWN.
20. INTERIOR LIGHT FIXTURES SHALL BE AS SHOWN.
21. INTERIOR LIGHT FIXTURES SHALL BE AS SHOWN.
22. INTERIOR LIGHT FIXTURES SHALL BE AS SHOWN.
23. INTERIOR LIGHT FIXTURES SHALL BE AS SHOWN.
24. INTERIOR LIGHT FIXTURES SHALL BE AS SHOWN.
25. INTERIOR LIGHT FIXTURES SHALL BE AS SHOWN.
26. INTERIOR LIGHT FIXTURES SHALL BE AS SHOWN.
27. INTERIOR LIGHT FIXTURES SHALL BE AS SHOWN.
28. INTERIOR LIGHT FIXTURES SHALL BE AS SHOWN.
29. INTERIOR LIGHT FIXTURES SHALL BE AS SHOWN.
30. INTERIOR LIGHT FIXTURES SHALL BE AS SHOWN.

GENERAL NOTES

- A. CONSTRUCTION TO COMPLY WITH THE MANUFACTURER'S RECOMMENDATIONS FOR THE MATERIALS SHOWN.
- B. PROVIDE PROTECTIVE MEASURES TO PREVENT DAMAGE TO THE MATERIALS DURING CONSTRUCTION.
- C. PROVIDE PROTECTIVE MEASURES TO PREVENT DAMAGE TO THE MATERIALS DURING CONSTRUCTION.
- D. PROVIDE PROTECTIVE MEASURES TO PREVENT DAMAGE TO THE MATERIALS DURING CONSTRUCTION.
- E. PROVIDE PROTECTIVE MEASURES TO PREVENT DAMAGE TO THE MATERIALS DURING CONSTRUCTION.
- F. PROVIDE PROTECTIVE MEASURES TO PREVENT DAMAGE TO THE MATERIALS DURING CONSTRUCTION.
- G. PROVIDE PROTECTIVE MEASURES TO PREVENT DAMAGE TO THE MATERIALS DURING CONSTRUCTION.
- H. PROVIDE PROTECTIVE MEASURES TO PREVENT DAMAGE TO THE MATERIALS DURING CONSTRUCTION.
- I. PROVIDE PROTECTIVE MEASURES TO PREVENT DAMAGE TO THE MATERIALS DURING CONSTRUCTION.
- J. PROVIDE PROTECTIVE MEASURES TO PREVENT DAMAGE TO THE MATERIALS DURING CONSTRUCTION.
- K. PROVIDE PROTECTIVE MEASURES TO PREVENT DAMAGE TO THE MATERIALS DURING CONSTRUCTION.
- L. PROVIDE PROTECTIVE MEASURES TO PREVENT DAMAGE TO THE MATERIALS DURING CONSTRUCTION.
- M. PROVIDE PROTECTIVE MEASURES TO PREVENT DAMAGE TO THE MATERIALS DURING CONSTRUCTION.
- N. PROVIDE PROTECTIVE MEASURES TO PREVENT DAMAGE TO THE MATERIALS DURING CONSTRUCTION.
- O. PROVIDE PROTECTIVE MEASURES TO PREVENT DAMAGE TO THE MATERIALS DURING CONSTRUCTION.
- P. PROVIDE PROTECTIVE MEASURES TO PREVENT DAMAGE TO THE MATERIALS DURING CONSTRUCTION.
- Q. PROVIDE PROTECTIVE MEASURES TO PREVENT DAMAGE TO THE MATERIALS DURING CONSTRUCTION.
- R. PROVIDE PROTECTIVE MEASURES TO PREVENT DAMAGE TO THE MATERIALS DURING CONSTRUCTION.
- S. PROVIDE PROTECTIVE MEASURES TO PREVENT DAMAGE TO THE MATERIALS DURING CONSTRUCTION.
- T. PROVIDE PROTECTIVE MEASURES TO PREVENT DAMAGE TO THE MATERIALS DURING CONSTRUCTION.
- U. PROVIDE PROTECTIVE MEASURES TO PREVENT DAMAGE TO THE MATERIALS DURING CONSTRUCTION.
- V. PROVIDE PROTECTIVE MEASURES TO PREVENT DAMAGE TO THE MATERIALS DURING CONSTRUCTION.
- W. PROVIDE PROTECTIVE MEASURES TO PREVENT DAMAGE TO THE MATERIALS DURING CONSTRUCTION.
- X. PROVIDE PROTECTIVE MEASURES TO PREVENT DAMAGE TO THE MATERIALS DURING CONSTRUCTION.
- Y. PROVIDE PROTECTIVE MEASURES TO PREVENT DAMAGE TO THE MATERIALS DURING CONSTRUCTION.
- Z. PROVIDE PROTECTIVE MEASURES TO PREVENT DAMAGE TO THE MATERIALS DURING CONSTRUCTION.

TAKE 5 CAR WASH
NORTH GOLIAD STREET
ROCKWALL, TX

DATE: 2/7/25
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: AS SHOWN

REVISION	DESCRIPTION	DATE
1	ISSUE FOR PERMIT	XX-XX-XX
2	REVISED PER COMMENTS	XX-XX-XX
3	REVISED PER COMMENTS	XX-XX-XX
4	REVISED PER COMMENTS	XX-XX-XX
5	REVISED PER COMMENTS	XX-XX-XX
6	REVISED PER COMMENTS	XX-XX-XX

PROJECT: TAKE 5 CAR WASH
ELEVATIONS
A301



CITY OF ROCKWALL

CITY COUNCIL MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: David Gonzales, *Planning and Zoning Manager*
DATE: February 9, 2021
SUBJECT: Z2021-003; *Specific Use Permit (SUP) for Residential Infill at 511 S. Clark Street*

The applicant, Jason Castro of Castro Development, LLC, has requested that the Planning and Zoning Commission postpone the public hearing for *Case No. Z2021-003* to the March 9, 2021 Planning and Zoning Commission meeting. The applicant is requesting a 30-day postponement to allow for time to prepare a topographic survey, which is being requested by the City's Engineering Department. The topographic survey is being requested to determine the floodplain/erosion hazard setback, which could potentially affect the placement of the proposed duplex. According to Subsection 02.03(C)(1), *Postponement, Recess, and Continuation of a Public Hearing*, of the Article 11, *Development Application and Review Procedures*, of the Unified Development Code (UDC), "(a) public hearing that was noticed in the manner prescribed by Subsection 02.03(A) may be postponed by announcing the postponement at the time and place of the noticed public hearing. The postponement of a public hearing shall be to a specific time and date no later than 30-days from the first or most recent public hearing...(t)he announcement of a postponement at a public hearing shall be sufficient notice and no additional notice is required." Should the Planning and Zoning Commission have any questions staff will be available at the February 9, 2021 meeting.

From: [Ryan Withrow](#)
To: [Gonzales, David](#)
Cc: [Jason Castro](#)
Subject: 511 S Clark St Duplex - SUP Delay
Date: Tuesday, February 2, 2021 4:04:45 PM

David,

I wanted to confirm with you what we discussed yesterday on the phone, Jason & I would like to delay our SUP application by 30 days in order for us to get the topo survey done and incorporated into our final plans before moving forward with the public hearings. Please let me know if you need any other information.

Thank you,

Ryan Withrow
Architect

Object & Architecture
214 240 1995
[Website](#)
[Instagram](#)

This email was scanned by Bitdefender

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.